BONDI **DEVELOPMENT APPLICATION** 18-22 OCEAN & 30 WELLINGTON STREET, BONDI, NSW





Locality Plan - LOT 1,2 & 3 IN D.P.1190396, OCEAN STREET & WELLINGTON STREET, BONDI 1 : 1500

ABBREVIATIONS

AC ACU ADJ ADJ LV AFFL AL AP AS BAL BALC BA-RP BCA BG BHD BIT BK BL BLDG BN BR BSP EXH BT CB CFC CJ COL CONC CP CPT CR CRS CT	Air Conditioning Air Condensor Unit Adjustable Adjustable retractable louvre Above Finished Floor Level Aluminium Access Panel Australian Standard Balustrade Balcony Ballast- Riva Pebbles Building Code of Australia Box Gutter Bulkhead Bitumen Brick Building Line Building Line Building Line Building Bin Brass Ballast- Stone Pebbles Exhaust Bench Top Concrete Block Compressed Fibre Cement Construction Joint / Control Joint Column Concrete Chrome Plated Carpet Cement Render Cement Render and Set Corarie Tilo	D DD DIA DP DSB DWG EA EC EGL EA EC EGL EA EC EA EC EA EA EC EA EA EA EA EA EA EA EA EA EA EA EA EA
CT	Ceramic Tile	GFC

D D D D E E E E E E E E E E E E E E E E	oor ish Drain iameter ownpipe istribution Switchboard rawing xposed Aggregate xhaust CowlEGExhaust Grille xisting Ground Level lectrical ngineer qual xisting Structure or Finish xhaust ixed bre Cement nished Ceiling Level nished Floor Level loor Grate nished Ground Level lexible Mastic potpath re Resistant re Resistant re Resistant re Resistance Level loor Waste lass / Glazing alvanised - hot dipped ate lass Balustrade lass Salustrade lass - Colour Backed rated Drain lazing - Fixed	GFT GFRT GLC GLT GND GO GT GTC GTT HRL HWH HWU HYD INS J LB LDRY LV MC MDB ME MFL MG MIJ MS MSB MW N NA
	lass - Float Clear	NTS

GFRT

Glass - Float Tinted Glass - Fire Rated and Tinted Glass - Laminated Clear Glass - Laminated Tinted Ground Glass - Obscured Glass - Obscured Glass - Translucent Glass - Toughened Clear Glass - Toughened Clear Glass - Toughened Tinted Handrail Hot Water Heater Hot Water Heater Hot Water Service Hot Water Unit Hydraulic Insulation - Thermal/Acoustic Joinery Item Lighting Bollad Laundry Louvre Metal Cladding Main Distribution Board Metal Metal Flashing Metal Grille Mitred Joint Movement Joint Metal Roof Mild Steel Main Switch Board Matwell (with mat)

O/H OD OF OV OR PΒ PC PBFR PBMR PF Schedule PFC PU ΡV PVC RA RC REF RF RL RP RPB RS RWH RWO SH SIM SL SOP SPP SS

ST

	SC_DRAWING LIST - DA
VV	Sheet Name
A000	Cover Sheet
A001	Site Plan
A002	Site Demolition Plan
A003	B2 - Basement Plan
A004	B1 - Basement Plan
A100	Ground Floor Plan
A101	Level 01 Plan
A102	Level 02 Plan
A103	Level 03 Plan
A104	Level 04 Plan
A105	Level 05 Plan
A106	Level 06 Plan
A107	Level 07 Plan
A110	Roof Plan
A300	Elevations & Sections - 1 of 5
A301	Elevations & Sections - 2 of 5
A302	Elevations & Sections - 3 of 5
A303	Elevations & Sections - 4 of 5
A304	Elevations & Sections - 5 of 5
A800	Area Schedule
A910	Facade Details - Sheet 1
A911	Facade Details - Sheet 2

Overhead
Outside Diameter
Overflow Spitter
Oven
Overrun
Plasterboard
Powdercoat
Plasterboard - Fire Resistant
Plasterboard - Moisture Resistant
Paint Finish refer Finishes
Parralel Flanged Channel
Paving Unit
Photovoltaic Panel
Polyvinylchloride
Refrigerator
Return Air
Reinforced Concrete
Reference
Roofing
Relative Level
Removable Panel
Raked Painted Brick
Roller Shutter
Rain Water Head
Rain Water Outlet
Shutters
Similar
Skylight
Setout Point

Spandrel Panel

Stainless Steel

Stone

STR# STRG STRUCT SWD SWG SWP TBA TBC TEL THD TM TMF TOC TOK TOP TOW TV U/G U/S UB UC UL	
UNO UOS VP WC WH WM WP WPM WT	

Stair (number) Storage Structural Stormwater Drain Stormwater Grate Stormwater Pit To Be Advised To Be Confirmed Telephone Threshold Timber Timber Floor Top of Column Top of Kerb Top of Parapet Top of Wall Television Underground Underside Universal Beam Universal Column Uplight to tree on seperate switching with time limit (pm) Unless Noted Otherwise Unless Otherwise Specified Vent Pipe Window Water Closet Weep Hole Washing Machine Waste Pipe Water Proof Membrane Water Tank

	BASIX
	GENERAL CONSTRUCTION
Glazing	Doors / windows: Single glazed clear, aluminium framed. U-Value (equal to or lower than): 6.57; SHGC (±10%): 0.74 Low-e clear glazing to selected units, refer to Thermal Comfort resu U-Value (equal to or lower than): 4.7; SHGC (±10%): 0.63 Shading: Fixed external vertical blades to building A as per plans and elevations. Adjustable external venations blinds to Buildings A, C, D & E as per plans
Roof/ Ceiling Insulation	Roof: Concrete slab – with R2.0 insulation over. Increased ceiling insulation to selected units, refer to Thermal Comf Roof colour: Default light Plasterboard ceiling, no insulation
Wall/ Floor Insulation	External walls: 90mm Concrete Block, lined – R2.0 to all units Increased wall insulation to selected units, refer to Thermal Comfort External wall colour: Default medium Internal walls within units: Plasterboard on studs - no insulation Inter- tenancy walls: 75mm Hebel (Min 50mm acoustic insulation) Increased wall insulation to selected units, refer to Thermal Comfort Floors: Concrete – No insulation Floor insulation to selected units, refer to Thermal Comfort results Floor coverings: Tiles to living areas and bedrooms, tiles to wet areas.

Notes

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Abbreviation Ledgend Please refer to drawing A000 - 'Cover Sheet' for abbreviation ledgend.

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Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application
Date	Rev	Amendment

Status:

DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

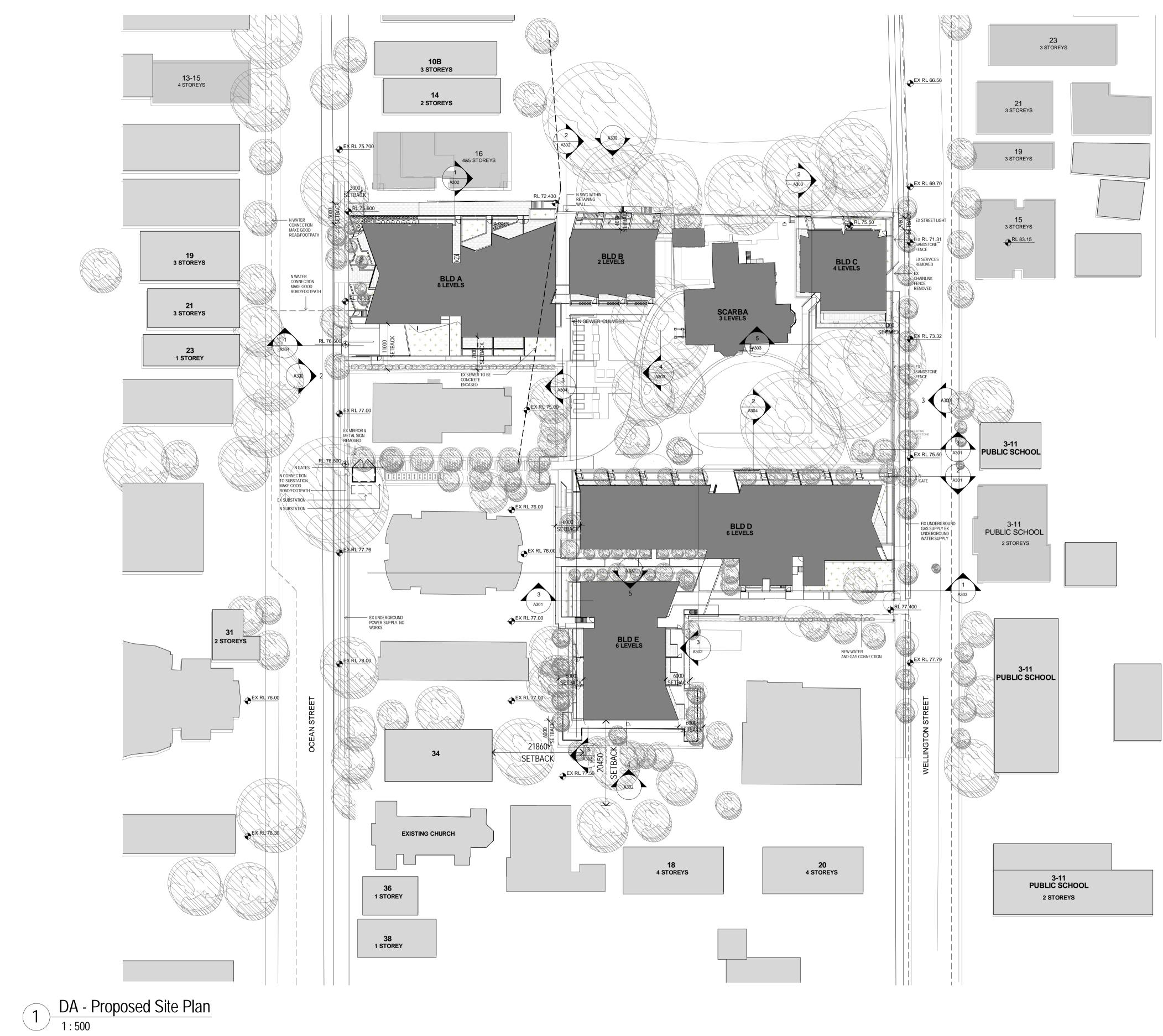
Design Architect: 632 BOURKE STREET SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 6381 SMART design studio Project: THE MORETON

18-22 Ocean Street & 30 Wellington Street

Title: DEVELOPMENT APPLICATION Cover Sheet

Scale @ A1: As Job no: 1.788 Date: 20/10/14 indicated Drawing No: A000 Rev: C

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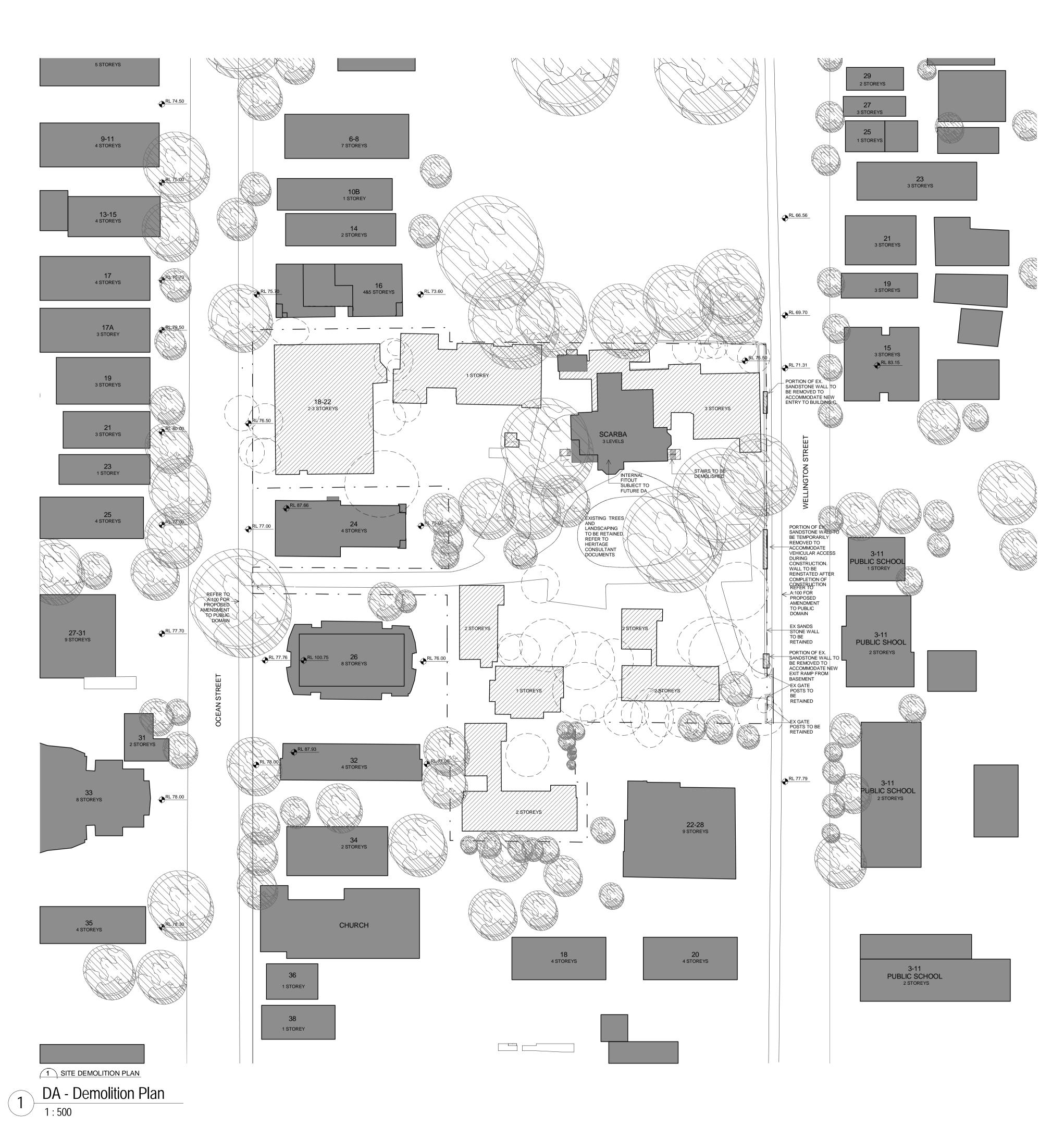
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Drawing No: A001



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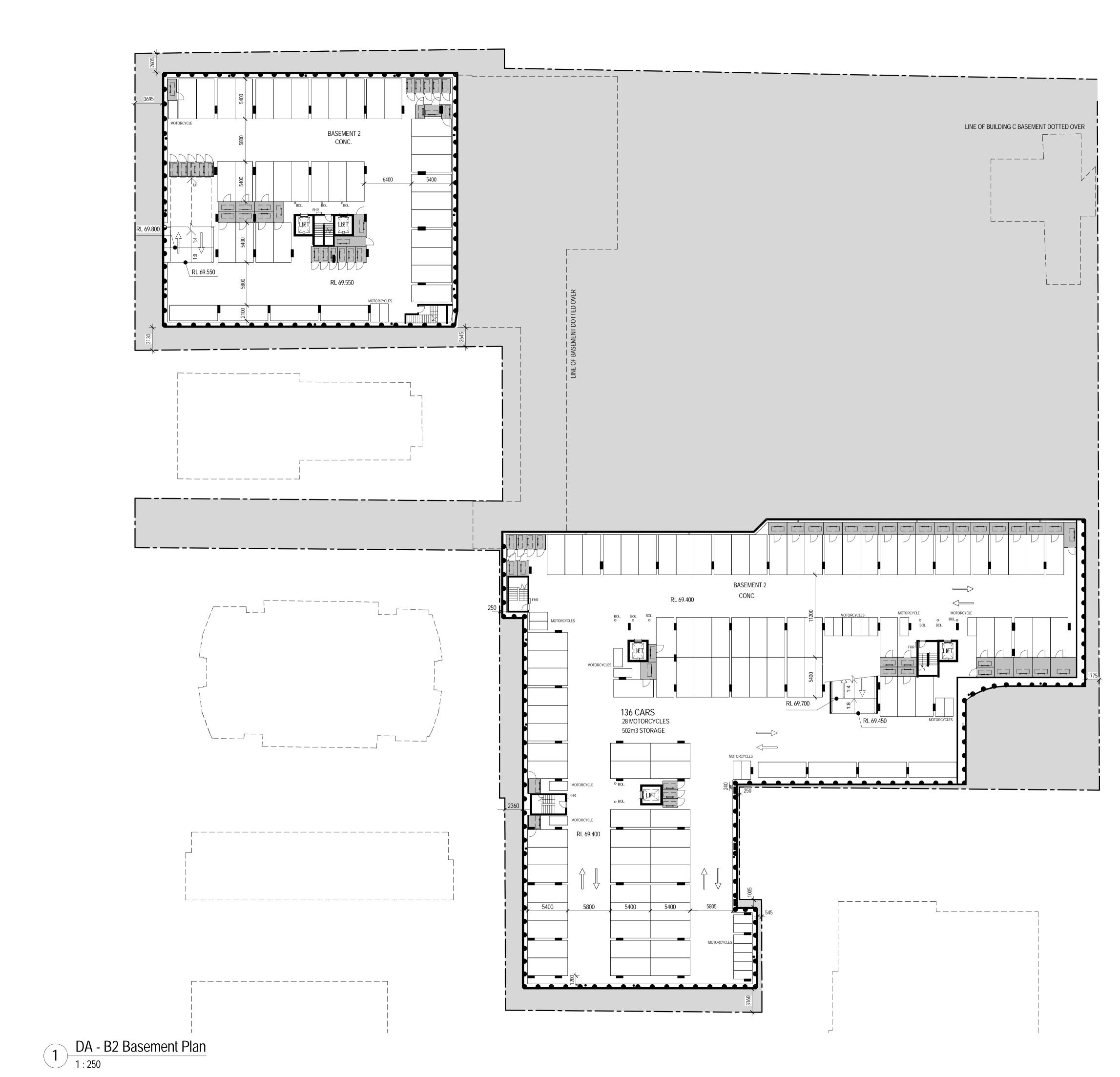
DEMOLITION LEGEND



BUILDING TO BE DEMOLISHED

EXISTING TREES TO BE REMOVED. REFER ARBORISTS REPORT FOR ADDITIONAL INFORMATION

21/01/2015	С	Development Application
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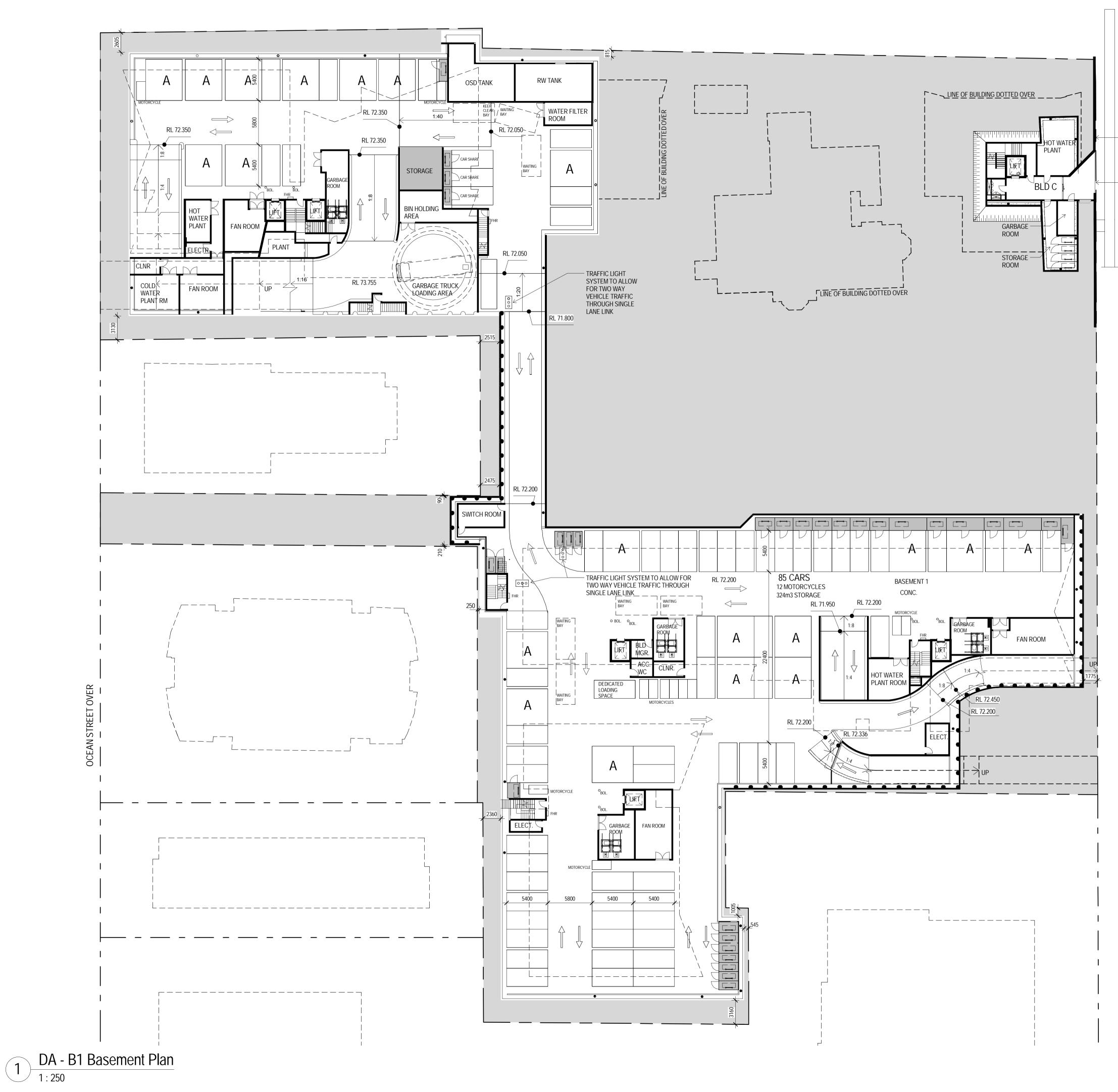
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Notes:



NEW INFILL TO EXISTING OPENING

- NEW OPENING TO EXISTING SANDSTONE WALL

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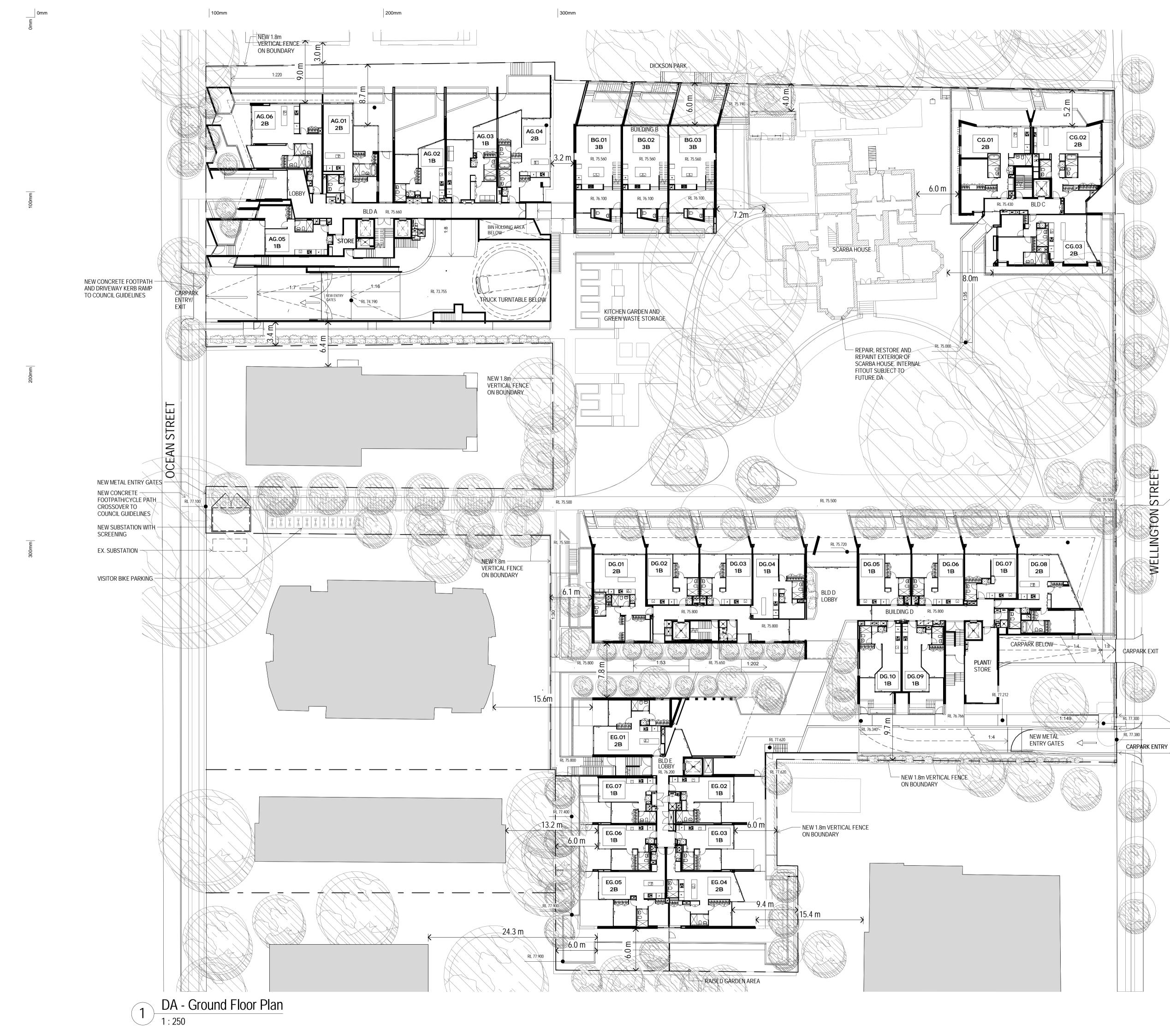
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21/01/2015 20/10/2014 14/05/2014	C B A	Development Application Development Application Development Application
Date	Rev	Amendment
Status: DEVELOPMEN NOT FOR CON		
Design Architect: 632 BOURKE STREET SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 6381	: smart (design studio
Project: THE MOR 18-22 Ocean Street & 30		- (
Title: DEVELOPMEN B1 - Basement F		ATION
Job no: 1.788 Date: Drawing No: A004	20/10/14 Rev	Scale @ A1: 1 : 250



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✓ NEW METAL ENTRY GATES

7 RETAIN EX GATE POSTS.

Revision:

21/01/2015 Development Application 20/10/2014 **Development Application** 14/05/2014 Development Application Date Rev Amendment Status: DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION Design Architect: 632 BOURKE STREET SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 6381 Project THE MORETON 18-22 Ocean Street & 30 Wellington Street Title: DEVELOPMENT APPLICATION Ground Floor Plan

Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250

Drawing No: A100

Rev: C



1 DA - Level 01 Plan 1 : 250

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Revision:

Drawing No: A101

21/01/2015 20/10/2014 14/05/2014	C B A	Development Application Development Application Development Application
Date	Rev	Amendment
Status:		
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Design Architect:	:	
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1 DA - Level 03 Plan 1 : 250

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Abbreviation Ledgend Please refer to drawing A000 - 'Cover Sheet' for abbreviation ledgend.

21/01/2015 20/10/2014 14/05/2014	C B A	Development Application Development Application Development Application
Date	Rev	Amendment
Status:		
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Design Architect:		==-=-
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Title: DEVELOPMENT Level 03 Plan	APPLIC	CATION
Job no: 1.788 Date: 2	0/10/14	Scale @ A1: 1 : 250
Drawing No: A103	Rev	r. C

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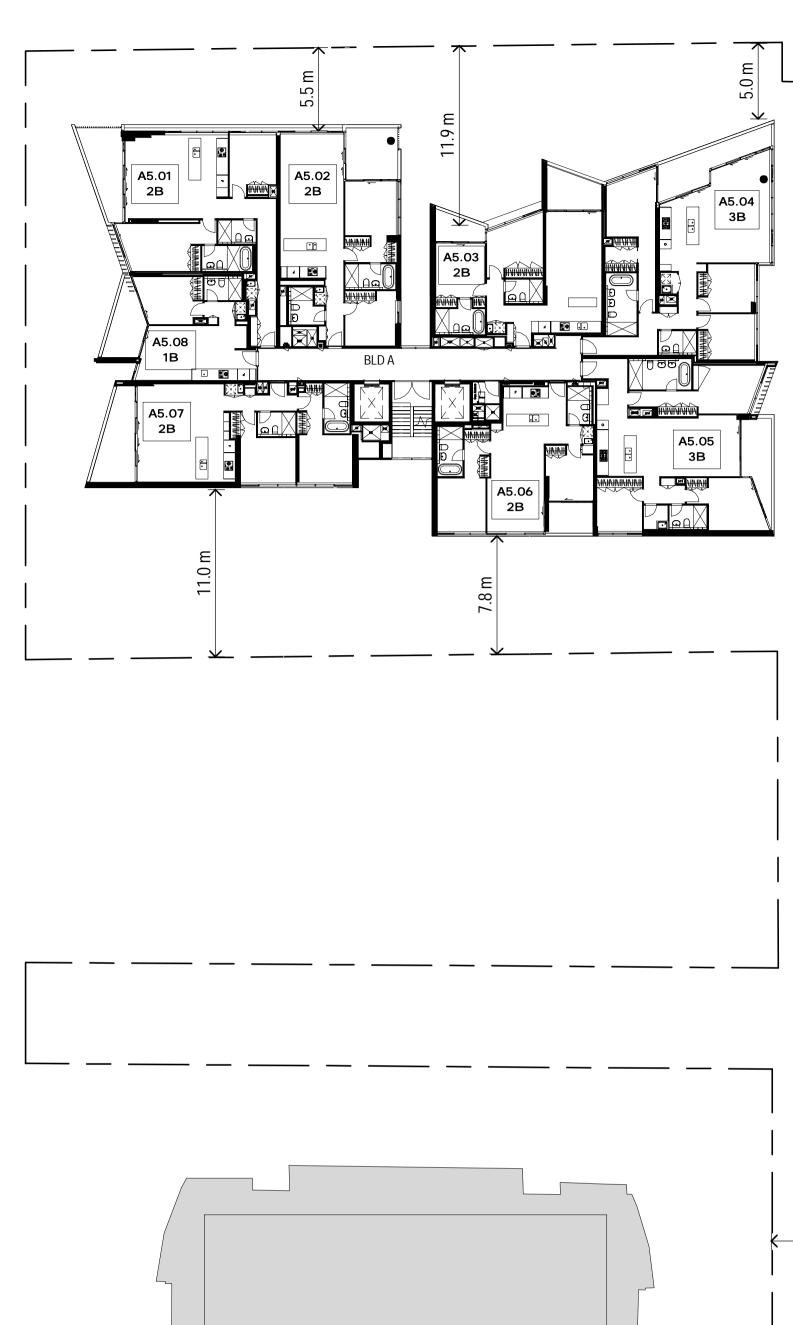
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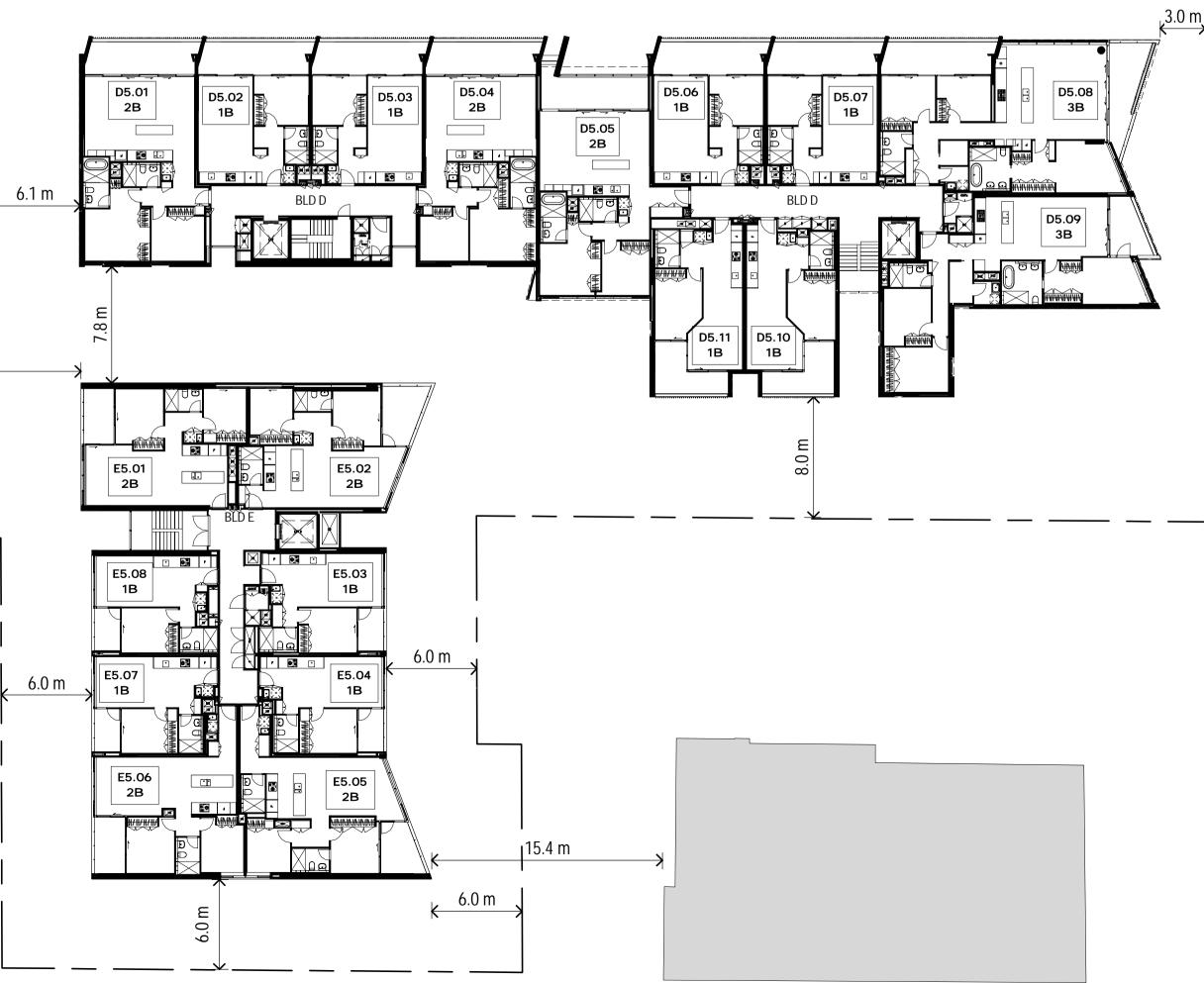
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Status: DEVELOPMEN NOT FOR CON		
Design Architect: 632 BOURKE STREET SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 6381	smart o	design studio
Project: THE MOR 18-22 Ocean Street & 30		- (-)
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Job no: 1.788 Date: 2 Drawing No: A104	20/10/14 Rev	Scale @ A1: 1 : 250

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Notes:

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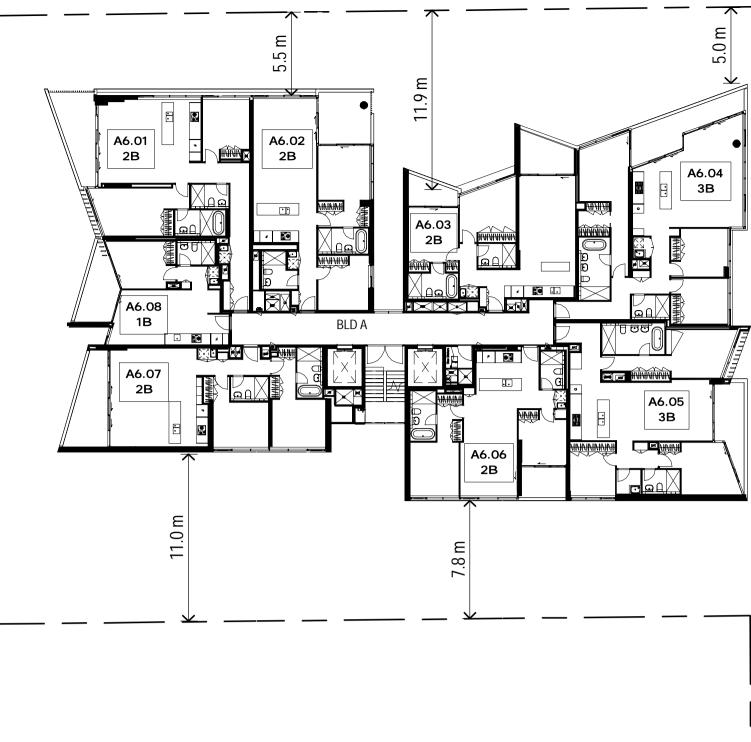
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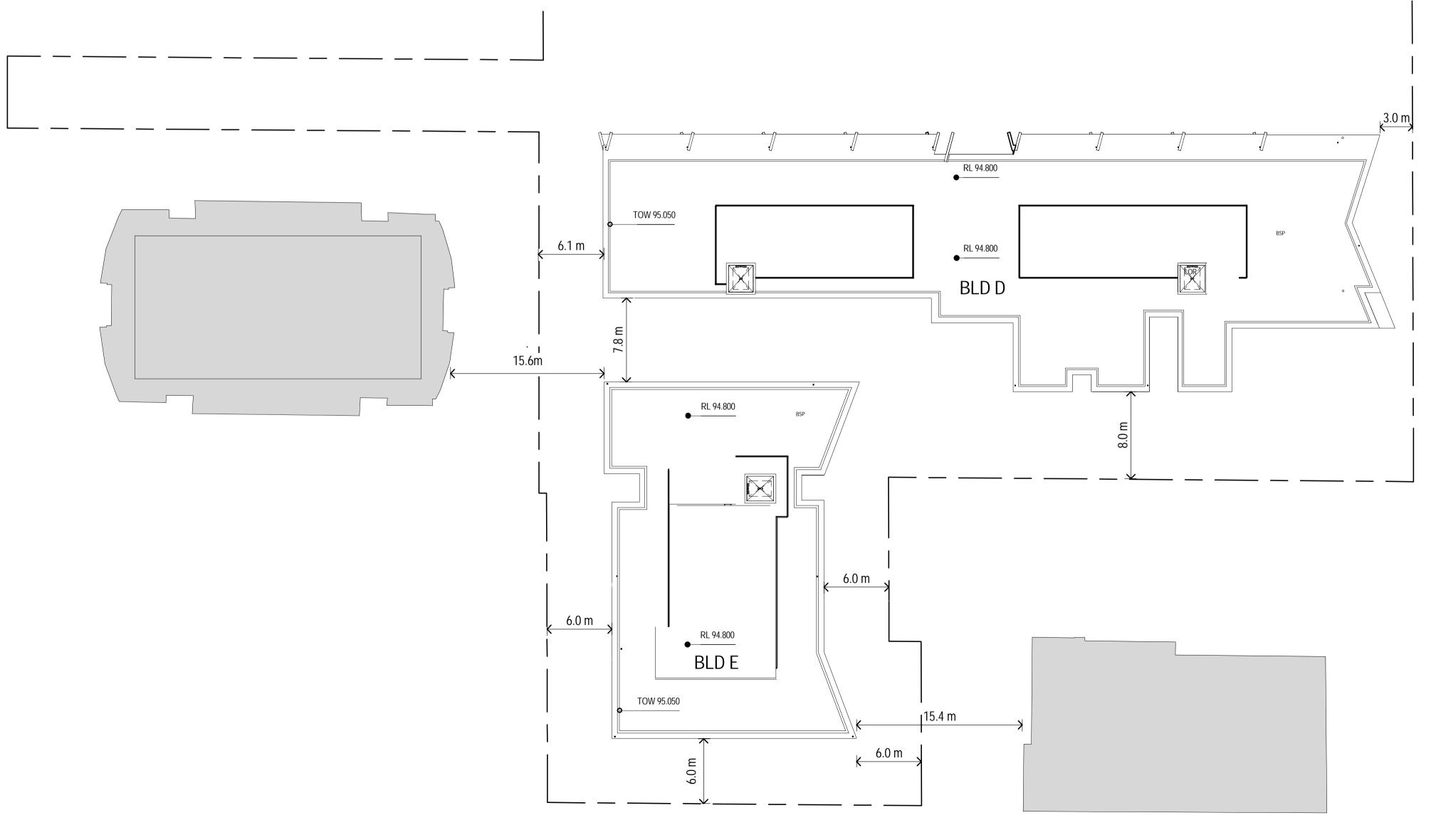
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Notes:

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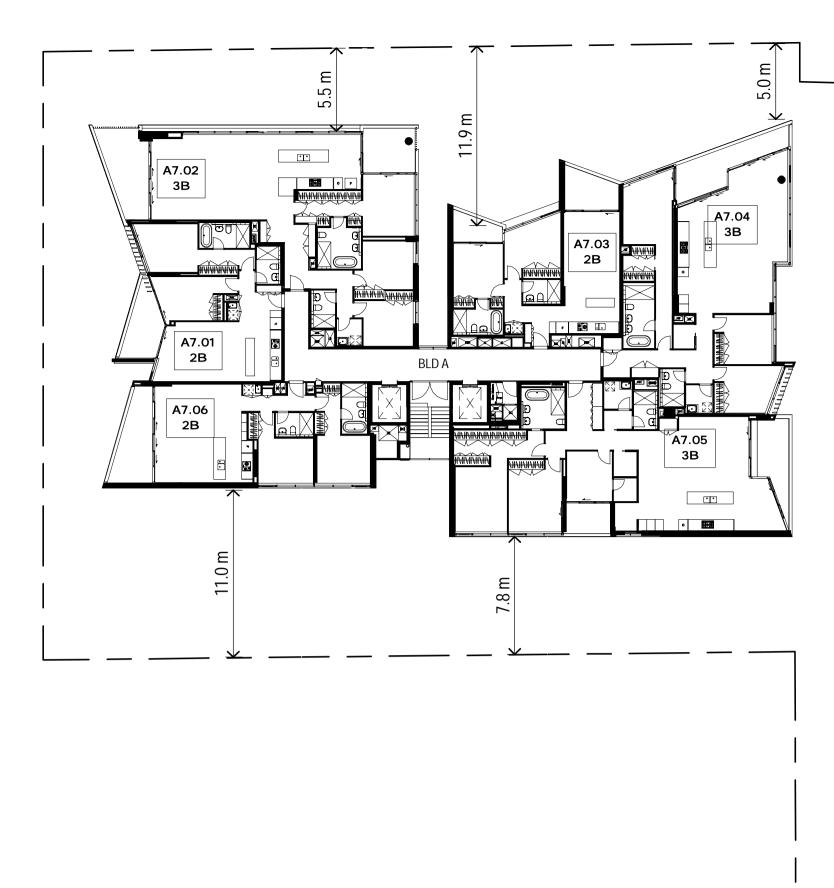
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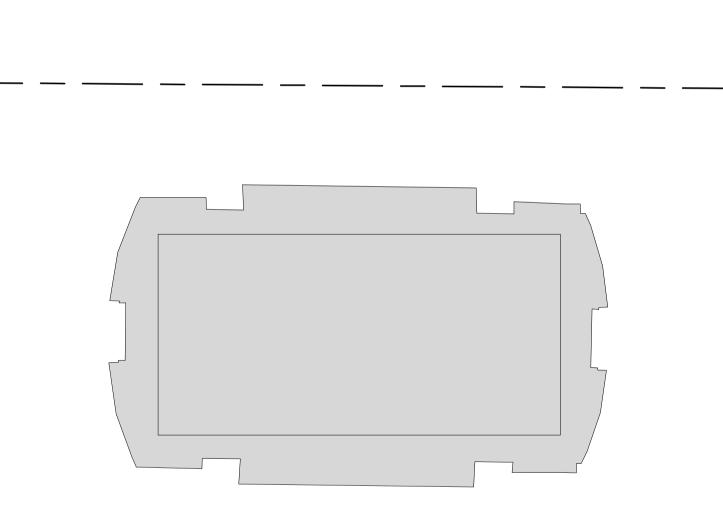
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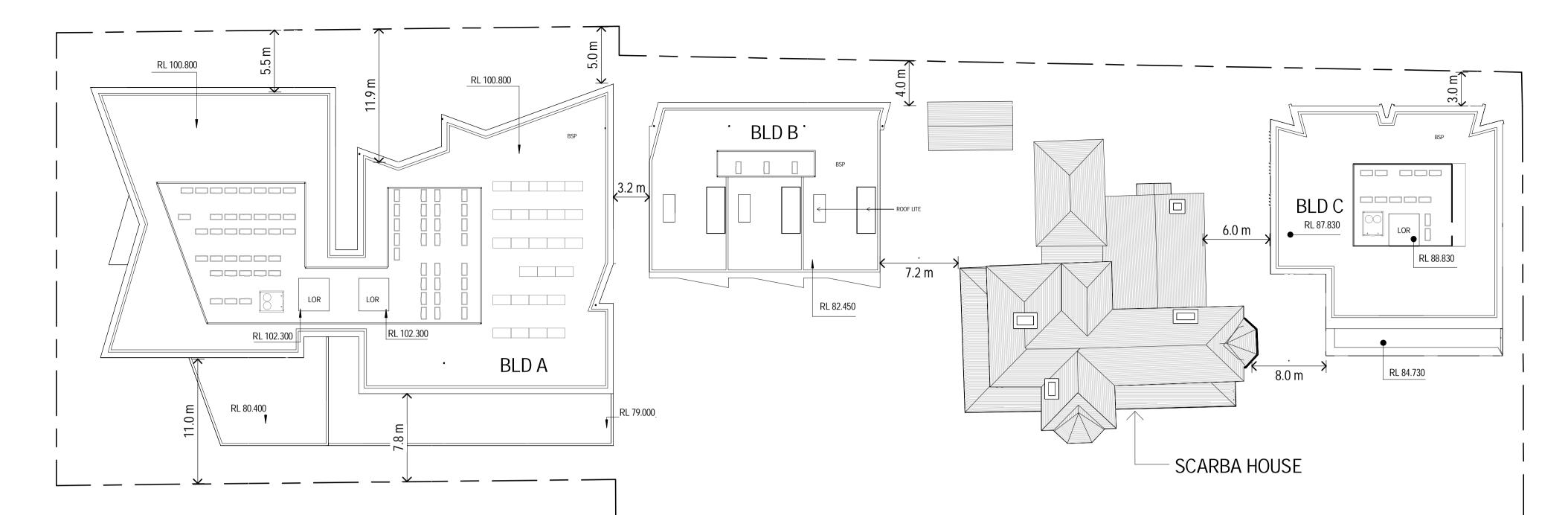
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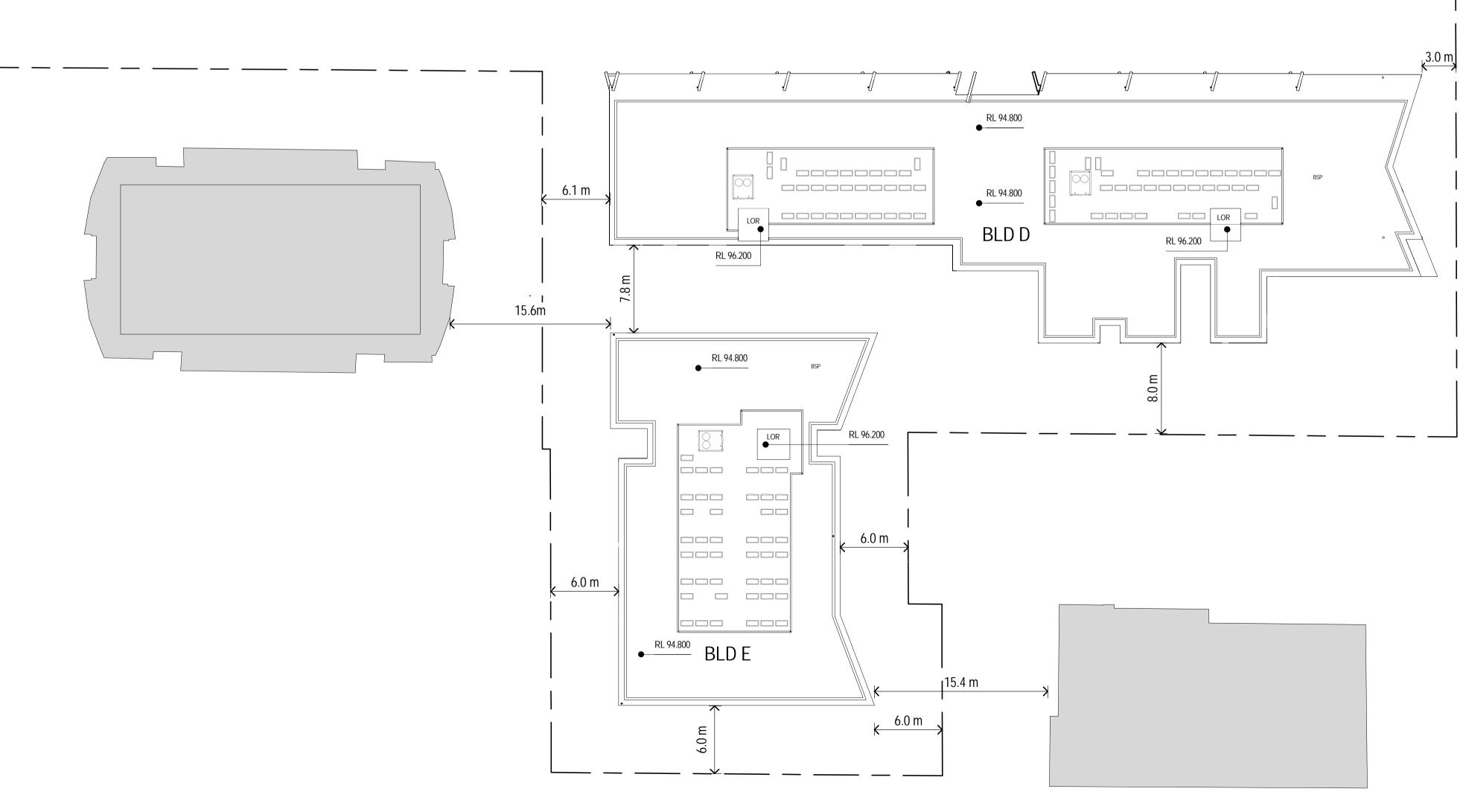
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SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 63 Project: THE MC 18-22 Ocean Street 18-22 Ocean Street Title: DEVELOPME Level 07 Plan	DRETO & 30 Wellington S	N Street
SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 63 Project: THE MC 18-22 Ocean Street 18-22 Ocean Street Title: DEVELOPME Level 07 Plan	DRETO & 30 Wellington S ENT APPLIC	N Street

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Notes:

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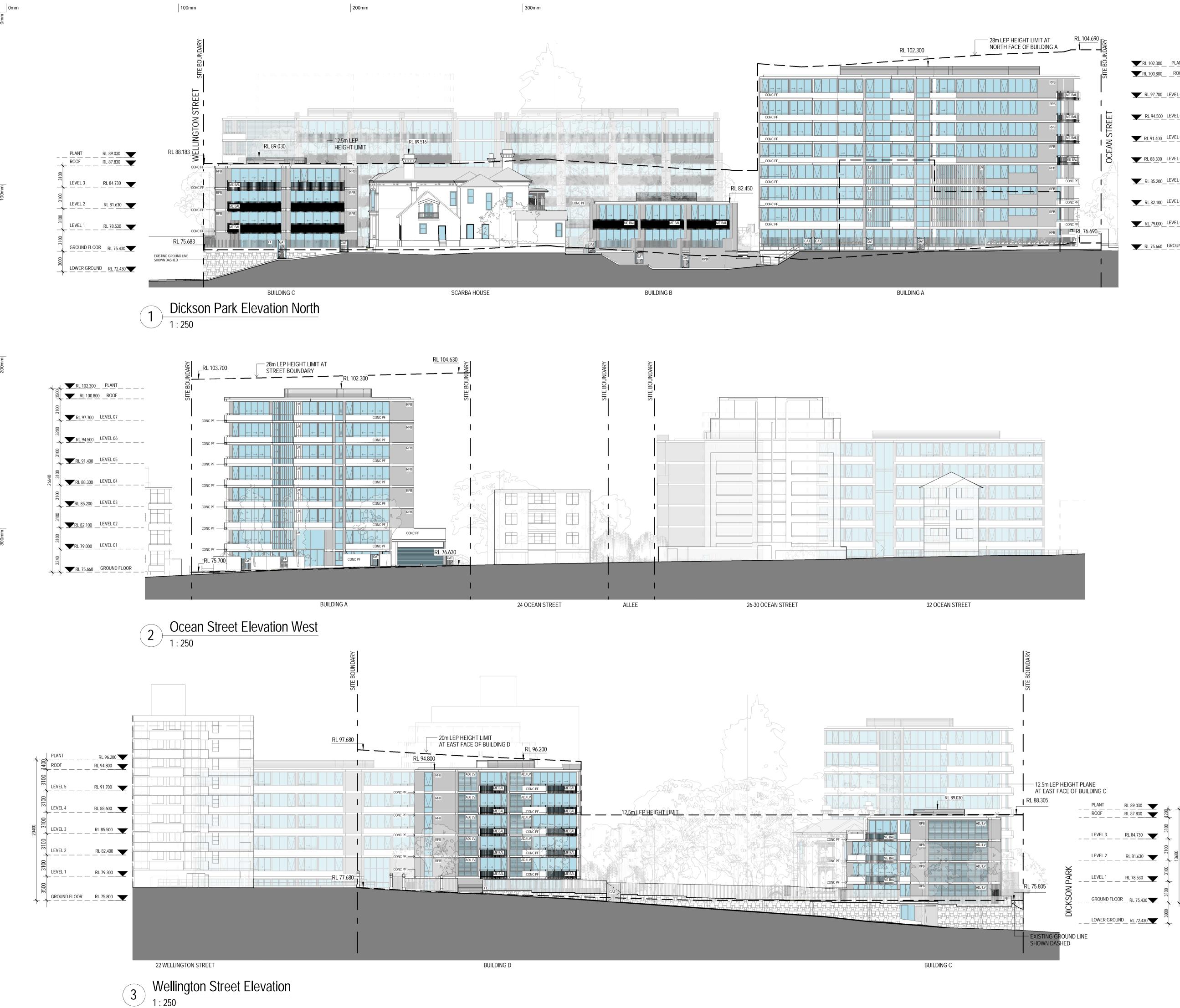
Abbreviation Ledgend Please refer to drawing A000 - 'Cover Sheet' for abbreviation ledgend.

Revision:

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18-22 Ocean Street & 30 Wellington Street	
Title:	
DEVELOPMENT APPLICATION	
Roof Plan	
Job no: 1.788 Date: 20/10/14 Scale @ A1:	

Rev: C

Drawing No: A110





RL 102.300	PLANT		⊀
RL 100.800	ROOF	1200	
RL 97.700	_LEVEL 07	3100	
RL 94.500	LEVEL 06	3200	
RL 91.400		3100	
RL 88.300	LEVEL 04		2004
RL 85.200	LEVEL 03	3100	
RL 82.100	LEVEL 02	3100	
RL 79.000	LEVEL 01	3100	
RL 75.660	GROUND FLOOR	3340	

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Finishes Schedule :



1. Raked brickwork, white paint finish. (RPB)

2. Metal balustrade, bronze

3. Extruded aluminium box louvres,

4. Adjustable, aluminium venetian blinds. Bronze finish. (ADJ LV)

5. Skimmed concrete, white paint finish. (CONC PF)

6. Timber decking to community garden furniture.

7. Aluminium window frame Bronze finish. (G)

8. Pebbles (roof) Washed Nepean river pebbles, sand & white finish.

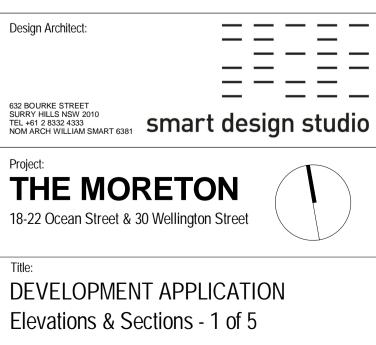
9. Terrazzo Australian Marble (External Paver/Tile) -

10. Paliscade Fence - Metal -Medium Bronze - Satin finish (FE - FENCE, GAT - GATE)

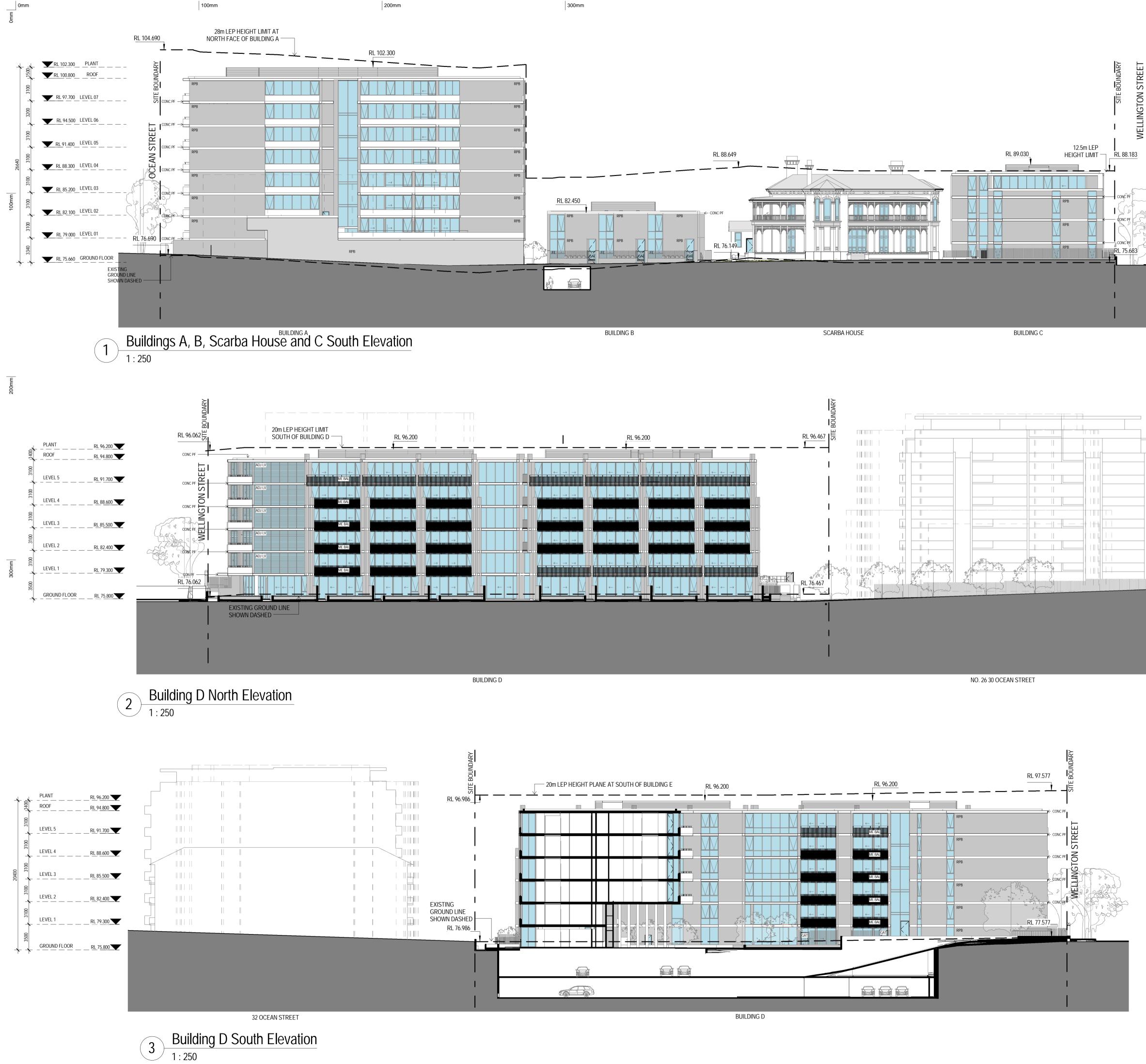
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Date	Rev	Amendment
14/05/2014	А	Development Application
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21/01/2015	С	Development Application

DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION



Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250 Drawing No: A300 Rev: C



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Finishes Schedule



1. Raked brickwork, white paint finish. (RPB)

2. Metal balustrade, bronze finish. (ME BAL)

3. Extruded aluminium box louvres, Bronze finish. (LV)

4. Adjustable, aluminium venetian blinds. Bronze finish. (ADJ LV)

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6. Timber decking to community garden furniture.

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9. Terrazzo Australian Marble (External Paver/Tile) -

Grey & White finish.

10. Paliscade Fence - Metal -Medium Bronze - Satin finish (FE - FENCE, GAT - GATE)

Revision:

21/01/2015	С	Development Application
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Drawing No: A301

Job no: 1.788

Rev: C

Date: 20/10/14

Scale @ A1: 1 : 250

PLANT RL 89.030 ROOF RL 87.830 LEVEL 3 _____LEVEL 3______RL 84.730 LEVEL 2 _____RL 81.630 🔍 LEVEL 1 LEVEL 1 _____ RL 78.530 GROUND FLOOR RL 75.430 LOWER GROUND RL 72.430

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Revision:

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632 BOURKE STREET SURRY HILLS NSW 2010 TEL +61 28 332 4333 NOM ARCH WILLIAM SMART 6381 Smart design studio

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18-22 Ocean Street & 30 Wellington Street

Title: DEVELOPMENT APPLICATION Elevations & Sections - 3 of 5

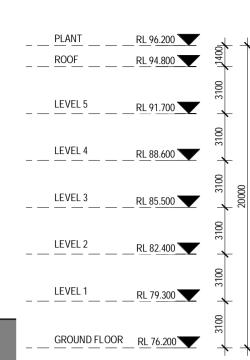
Job no: 1.788

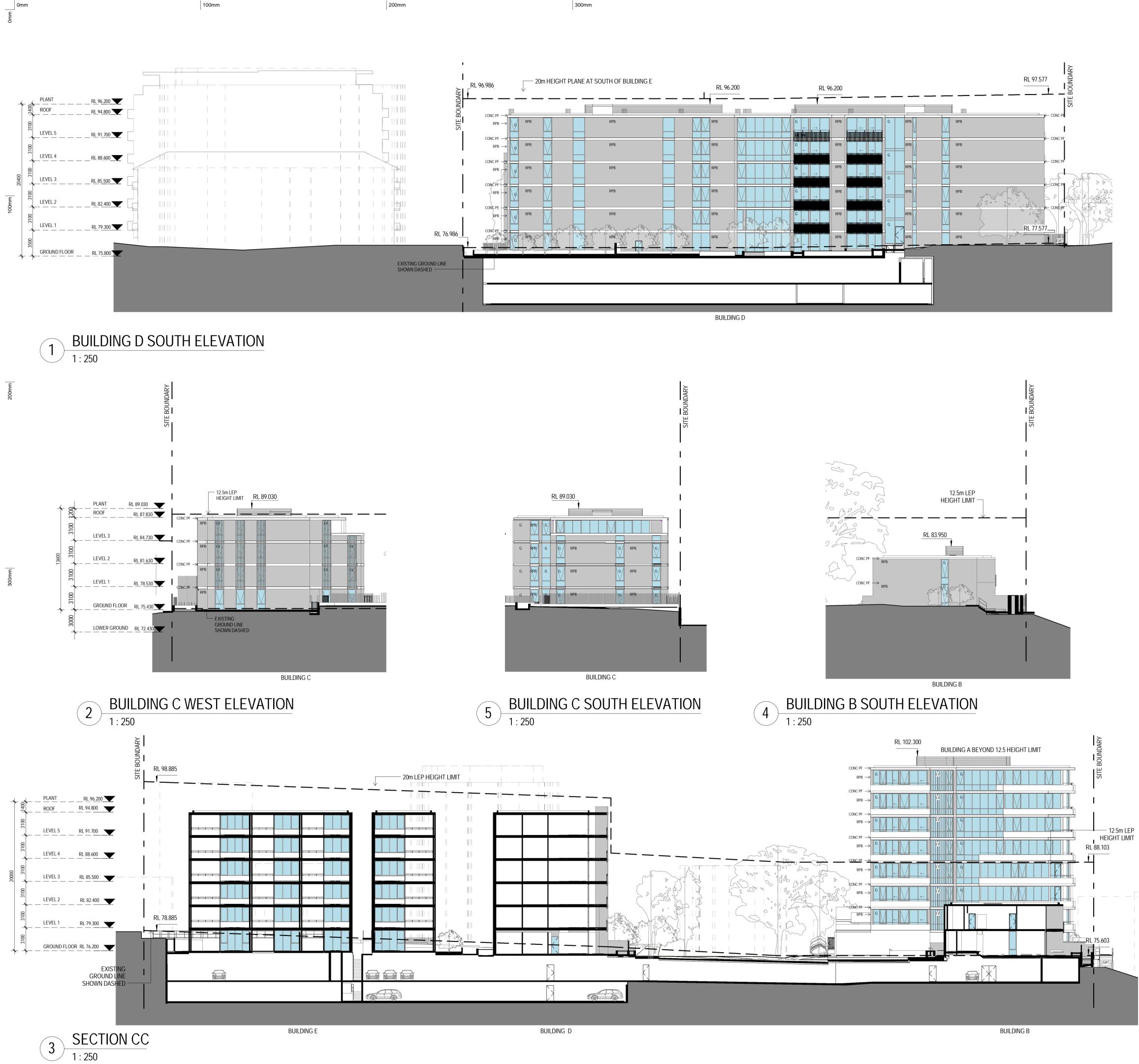
Date: 20/10/14 Scale @ A1: 1 : 250 Drawing No: A302 Rev: C

_____ ROOF RL 87.830 LEVEL 3 _____ RL 84.730 V LEVEL 2 RL 81.630 LEVEL 1 RL 78.530 LOWER GROUND RL 72.430

RL 89.030

PLANT





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Abbreviation Ledgend Please refer to drawing A000 - 'Cover Sheet' for abbreviation ledgend.

Finishes Schedule :



1. Raked brickwork, white paint finish. (RPB)

2. Metal balustrade, bronze

3. Extruded aluminium box louvres,

4. Adjustable, aluminium venetian blinds. Bronze finish. (ADJ LV)

5. Skimmed concrete, white paint finish. (CONC PF)

6. Timber decking to community garden furniture.

7. Aluminium window frame Bronze finish. (G)

8. Pebbles (roof) Washed Nepean river pebbles, sand & white finish.

9. Terrazzo Australian Marble (External Paver/Tile) -

10. Paliscade Fence - Metal -Medium Bronze - Satin finish (FE - FENCE, GAT - GATE)

Revision:

21/01/2015	С	Development Application
20/10/2014	В	Development Application
14/05/2014	А	Development Application
Date	Rev	Amendment
Status:		
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Design Architect:		
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TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 6381	smart	design studio
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Drawing No: A303

Date: 20/10/14

Job no: 1.788

Rev: C

Scale @ A1: 1 : 250



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Abbreviation Ledgend Please refer to drawing A000 - 'Cover Sheet' for abbreviation ledgend.

Finishes Schedule :



1. Raked brickwork, white paint finish. (RPB)

2. Metal balustrade, bronze finish. (ME BAL)

3. Extruded aluminium box louvres, Bronze finish. (LV)

4. Adjustable, aluminium venetian blinds. Bronze finish. (ADJ LV)

5. Skimmed concrete, white paint finish. (CONC PF)

6. Timber decking to community garden furniture.

7. Aluminium window frame Bronze finish. (G)

8. Pebbles (roof) Washed Nepean river pebbles, sand & white finish.

9. Terrazzo Australian Marble -(External Paver/Tile) -

10. Paliscade Fence - Metal -Medium Bronze - Satin finish (FE - FENCE, GAT - GATE)

Revision:

21/01/2015	С	Development Application
20/10/2014	В	Development Application
14/05/2014	А	Development Application
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Scale @ A1: 1 : 250 Job no: 1.788 Date: 20/10/14 Rev: C Drawing No: A304

200mm

AREA & SEPP SCHEDULE

18-22 OCEAN & 30 WELLINGTON STREET, BONDI, NSW

Project	Ocean Str	eet, Bondi
Total Site Area	11,138	SQM
Available FSR	1.5:1	
Available GFA	16,707	SQM
Proposed GFA	16,704	SQM

Location		Ара	rtment Ty	ре		Commercial	Tenancies	GFA SQM[1]+[2]
	Studio	1 Bed	2 Bed	3 Bed	Single Dwelling	Retail		
Building A	0	20	36	9	0	0	65	6,156 SQM
Building B	0	0	0	3	0	0	3	465 SQM
Building C	0	1	11	0	0	0	12	1,198 SQM
Building D	0	38	16	10	0	0	64	5,316 SQM
Building E	0	24	22	0	0	0	46	3,032 SQM
Scarba	0	0	0	0	1	0	1	537 SQM
Overall Total	0	83	85	22	1	0	191	16, 704 SQM
Mix %	0%	43.5%	44.5%	11.5%	0.5%	0%	100%	

GFA DEFINITION

(1) GFA 1

As defined by Waverley Council LEP -

Gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and Notes
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

(d) any area for common vertical circulation, such as lifts and stairs, and

- (e) any basement:
- (i) storage, and
- (i) storage, and
 (ii) vehicular access, loading areas, garbage and services, and
 (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
 (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
 (h) any space used for the loading or unloading of goods (including access to it), and
 (i) terraces and balconies with outer walls less than 1.4 metres high, and

- (j) voids above a floor at the level of a storey or storey above.

(2) NOTES

All areas are indicative, preliminary and subject to surveyor confirmation, consultant input, design development

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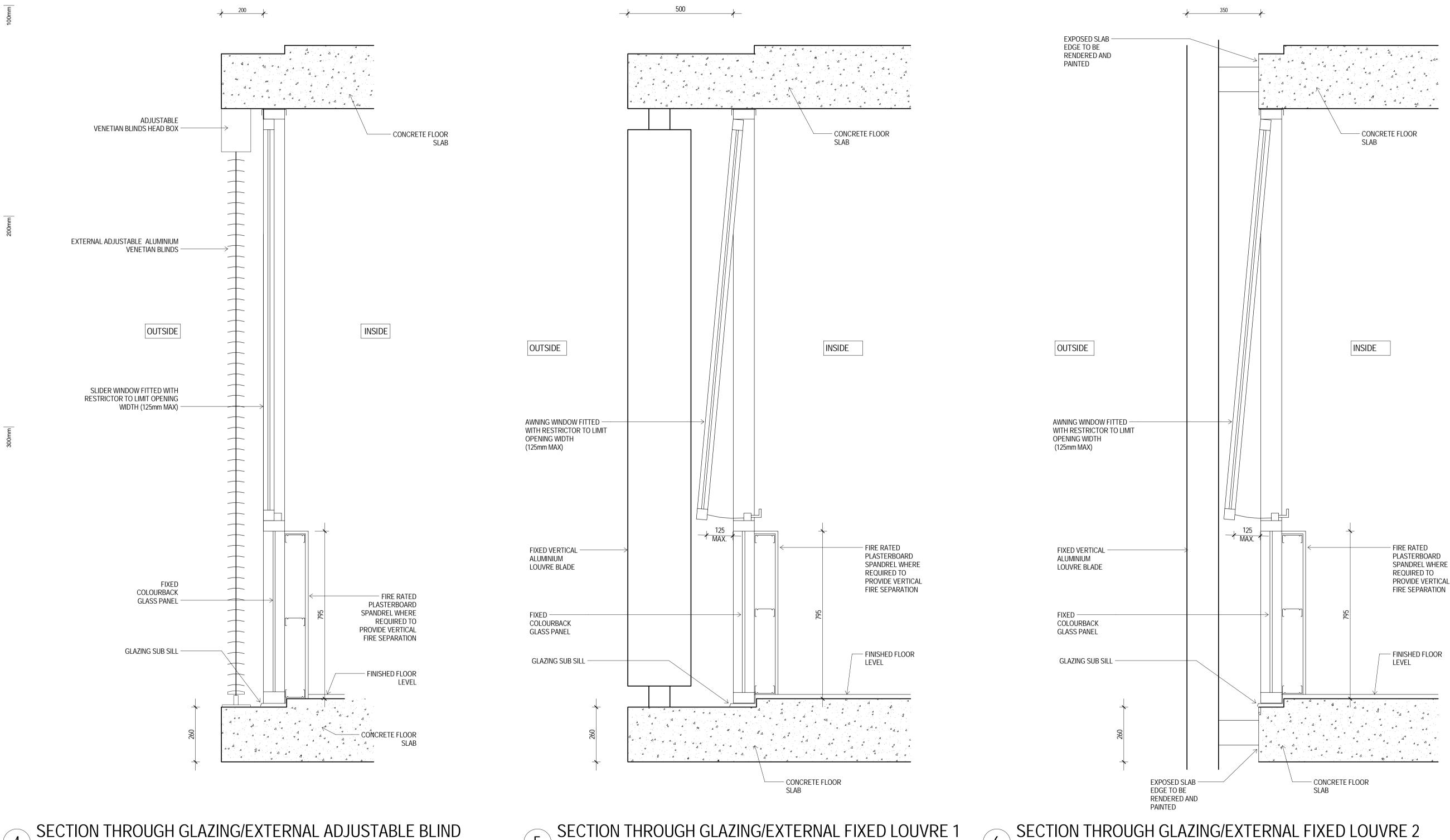
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SECTION THROUGH GLAZING/EXTERNAL ADJUSTABLE BLIND 4 SECTIC 1:10 @ A1



SECTION THROUGH GLAZING/EXTERNAL FIXED LOUVRE 1

6 ′ 1:10 @A1

Job no: 1.788 Date: 01/19/15 Scale @ A1: 1:10 Drawing No: A910 Rev: A

21/01/2015 JRPP Review А Date Rev Amendment Status: DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION Design Architect: 632 BOURKE STREET SURRY HILLS NSW 2010 TEL +61 2 8332 4333 NOM ARCH WILLIAM SMART 6381 smart design studio Project: THE MORETON 18-22 Ocean Street & 30 Wellington Street Title: DEVELOPMENT APPLICATION Facade Details - Sheet 1

Revision:

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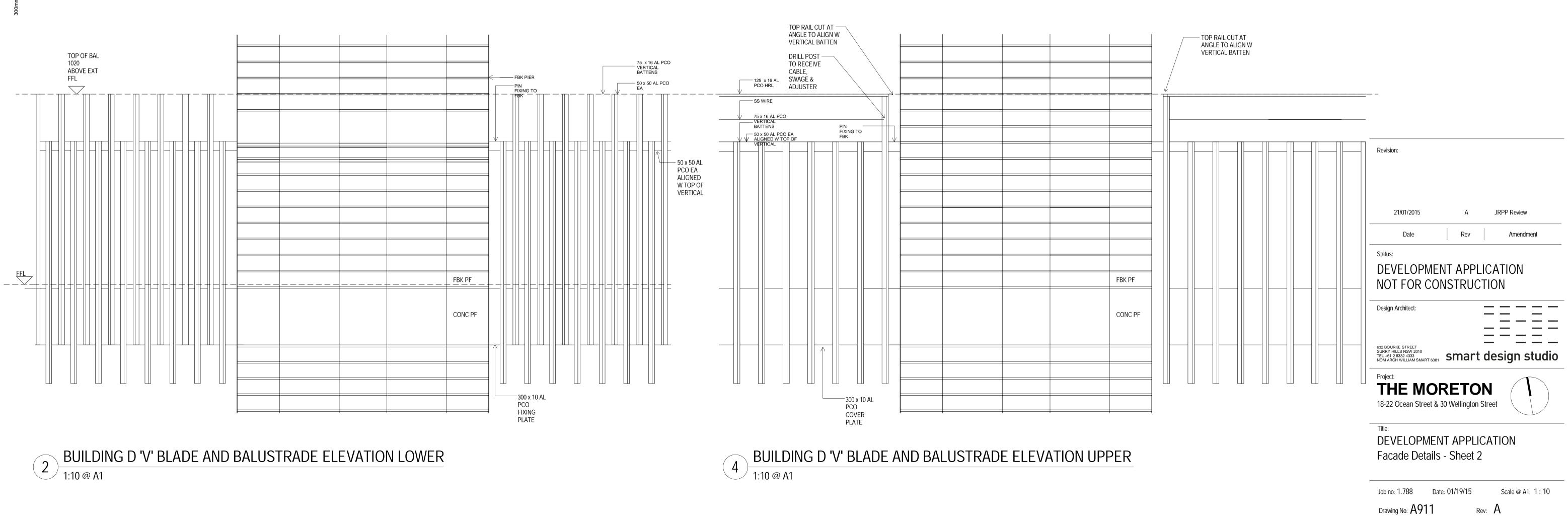
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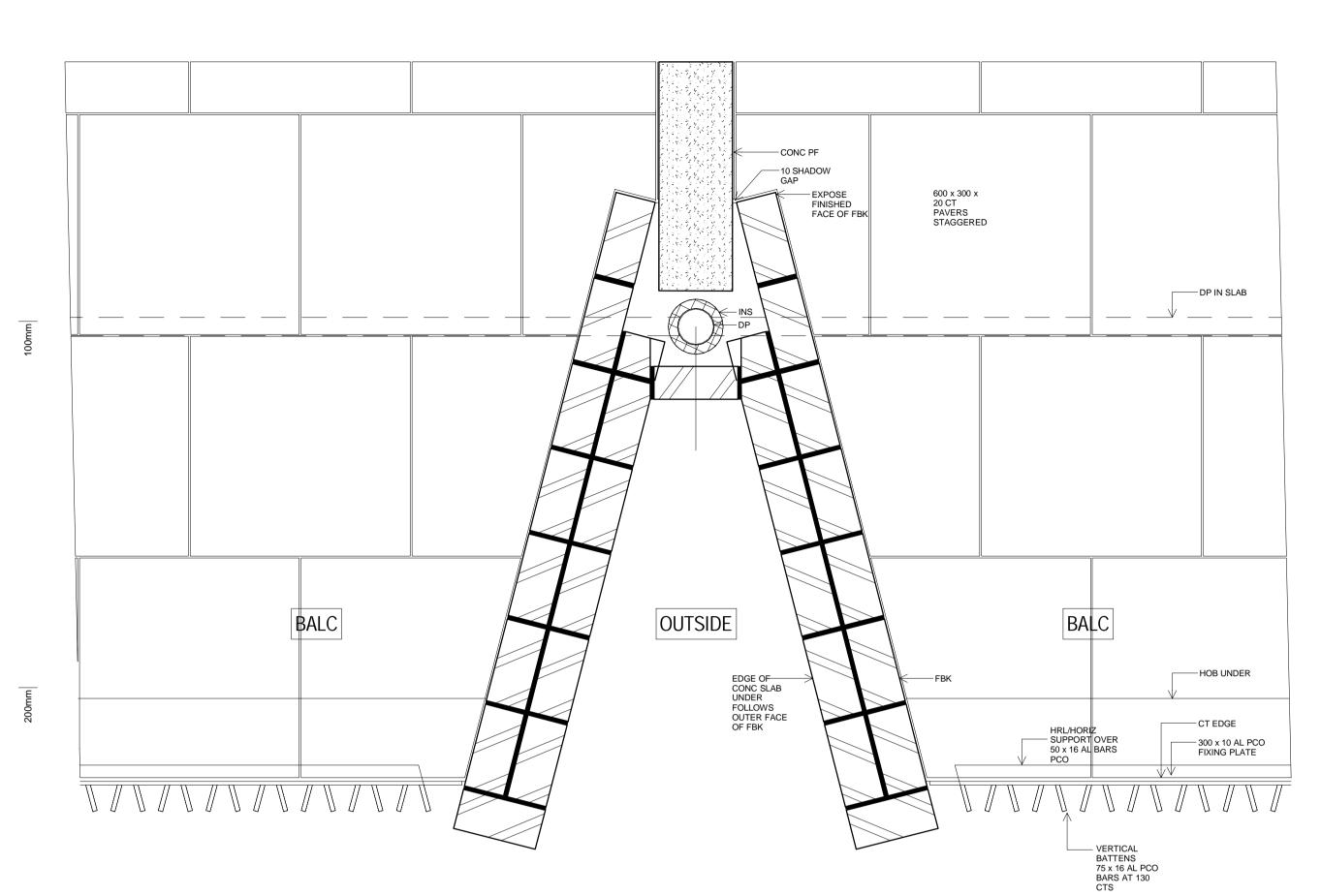
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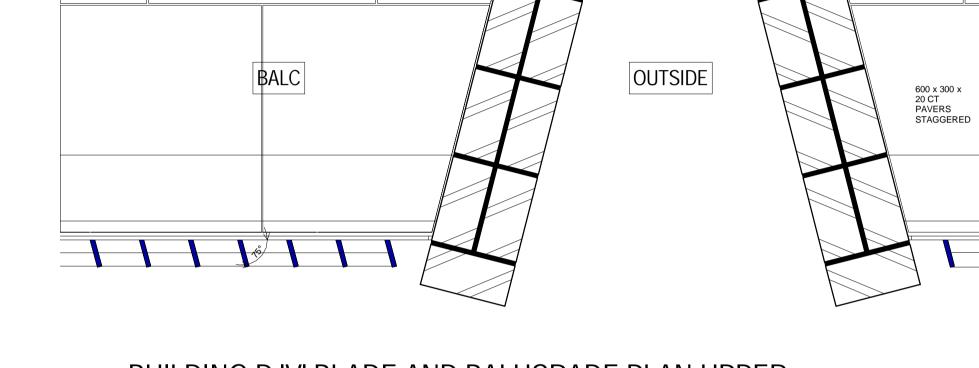
BUILDIND D 'V' BLADE AND BALUSTRADE PLAN LOWER 1 <u>BUILDII</u> 1:10 @ A1

100mm



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