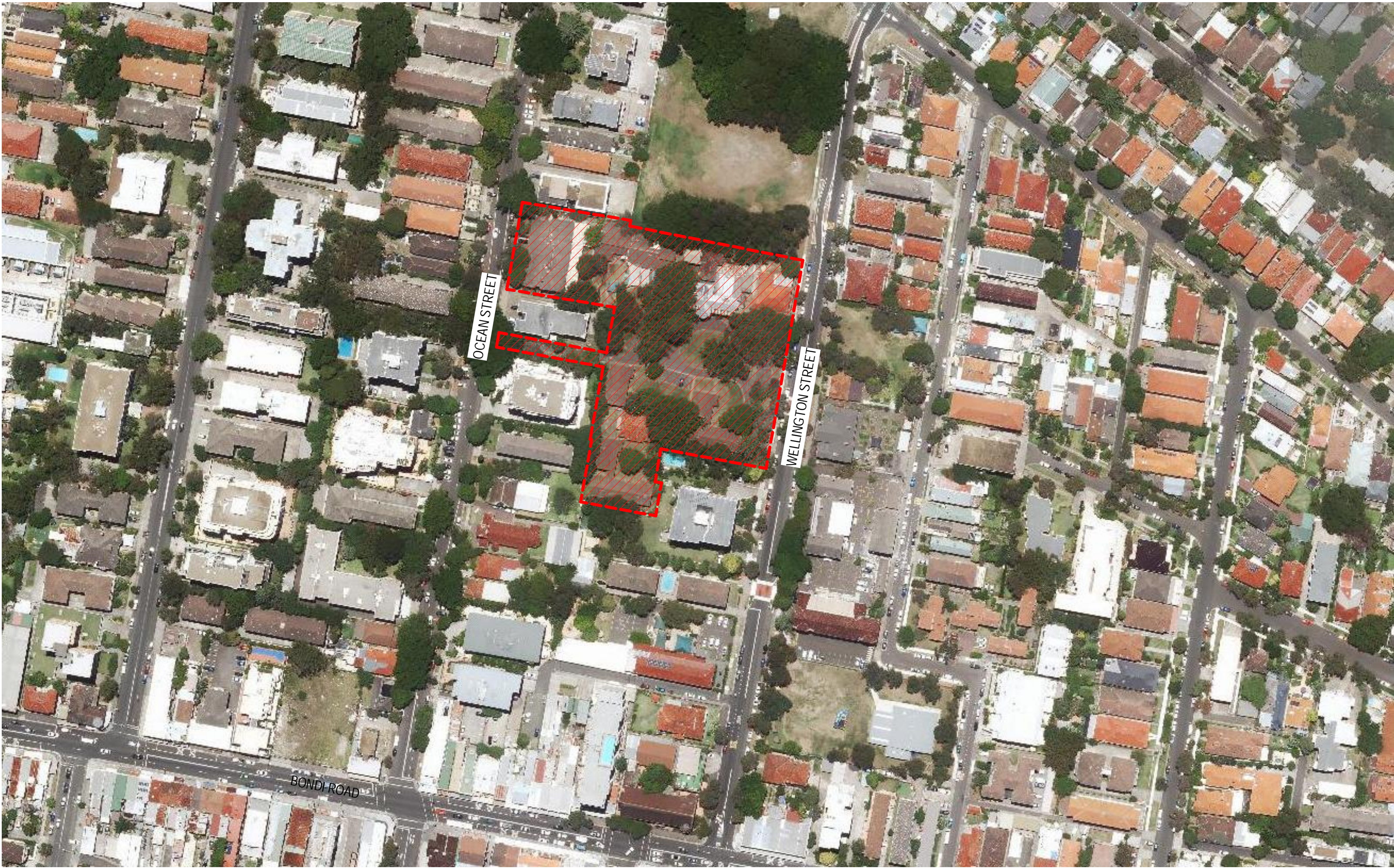


BONDI
DEVELOPMENT APPLICATION
18-22 OCEAN & 30 WELLINGTON STREET, BONDI, NSW



1 Locality Plan - LOT 1,2 & 3 IN D.P.1190396, OCEAN STREET & WELLINGTON STREET, BONDI
1 : 1500

ABBREVIATIONS

AC	Air Conditioning	D	Door	GFT	Glass - Float Tinted	O/H	Overhead	STR#	Stair (number)
ACU	Air Condensor Unit	DD	Dish Drain	GFRT	Glass - Fire Rated and Tinted	OD	Outside Diameter	STRG	Storage
ADJ	Adjustable	DIA	Diameter	GLC	Glass - Laminated Clear	OF	Overflow Splitter	STRUCT	Structural
ADJ LV	Adjustable retractable louvre	DP	Downpipe	GLT	Glass - Laminated Tinted	OV	Oven	SWD	Stormwater Drain
AFFL	Above Finished Floor Level	DSB	Distribution Switchboard	GND	Ground	OR	Overrun	SWG	Stormwater Grate
AL	Aluminium	DWG	Drawing	GO	Glass - Obscured	PB	Plasterboard	SWP	Stormwater Pit
AP	Access Panel	EA	Exposed Aggregate	GT	Glass - Translucent	PC	Powdercoat	TBA	To Be Advised
AS	Australian Standard	EC	Exhaust Cow/EGExhaust Grille	GTC	Glass - Toughened Clear	PBFR	Plasterboard - Fire Resistant	TBC	To Be Confirmed
BAL	Balustrade	EGL	Existing Ground Level	GTT	Glass - Toughened Tinted	PBMR	Plasterboard - Moisture Resistant	TEL	Telephone
BALC	Balcony	ELEC	Electrical	HRL	Handrail	PF	Paint Finish refer Finishes	THD	Threshold
BA-RP	Ballast- Riva Pebbles	ENG	Engineer	HHW	Hot Water Heater	Schedule		TM	Timber
BCA	Building Code of Australia	EQ	Equal	HWS	Hot Water Service	PFC	Parallel Flanged Channel	TMF	Timber Floor
BG	Box Gutter	EX	Existing Structure or Finish	HVU	Hot Water Unit	PU	Paving Unit	TOC	Top of Column
BHD	Bulkhead	EXH	Exhaust	HYD	Hydraulic	PV	Photovoltaic Panel	TOK	Top of Korb
BIT	Bitumen	F	Fixed	INS	Insulation - Thermal/Acoustic	PVC	Polyvinylchloride	TOP	Top of Parapet
BK	Brick	FC	Fibre Cement	J	Joinery Item	R	Refrigerator	TOW	Top of Wall
BL	Building Line	FCL	Finished Ceiling Level	LB	Lighting Bollard	RA	Return Air	TV	Television
BLDG	Building	FFL	Finished Floor Level	LDRY	Laundry	RC	Reinforced Concrete	UIG	Underground
BN	Bin	FG	Floor Grate	LV	Louvre	REF	Reference	UIS	Underside
BR	Brass	FGL	Finished Ground Level	MC	Metal Cladding	RF	Roofing	UB	Universal Beam
BSP	Ballast- Stone Pebbles	FM	Flexible Mastic	MDB	Main Distribution Board	RL	Relative Level	UC	Universal Column
EXH	Exhaust	FTP	Footpath	ME	Metal	RP	Removable Panel	UL	Up Light to tree on separte
BT	Bench Top	FR	Fire Resistant	MFL	Metal Flashing	RPB	Raked Painted Brick		switching with time limit (pm)
CB	Concrete Block	FRL	Fire Resistance Level	MG	Metal Grille	RS	Roller Shutter	UNO	Unless Noted Otherwise
CFC	Compressed Fibre Cement	FW	Floor Waste	MJ	Mitred Joint	RWH	Rain Water Head	UOS	Unless Otherwise Specified
CJ	Construction Joint / Control Joint	G	Glass / Glazing	MR	Movement Joint	RWO	Rain Water Outlet	VP	Vent Pipe
COL	Column	GALV	Galvanised - hot dipped	SH	Metal Roof	SH	Shutters	W	Window
CONC	Concrete	GAT	Gate	MS	Mild Steel	SIM	Similar	WC	Water Closet
CP	Chrome Plated	GBAL	Glass Balustrade	SL	Main Switch Board	SL	Skylight	WH	Weep Hole
CPT	Carpet	CCB	Glass - Colour Backed	MW	Metalwell (with mat)	SOP	Sealant Point	WM	Washing Machine
CR	Cement Render	GDR	Grated Drain	N	New Item	SPP	Spandrel Panel	WP	Water Pipe
CRS	Cement Render and Set	GF	Glazing - Fixed	N/A	Not Applicable	SS	Stainless Steel	WPM	Water Proof Membrane
CT	Ceramic Tile	GFC	Glass - Float Clear	NTS	Not To Scale	ST	Stone	WT	Water Tank

SC_DRAWING LIST - DA		
vw	Sheet Name	Rev
A000	Cover Sheet	C
A001	Site Plan	C
A002	Site Demolition Plan	C
A003	B2 - Basement Plan	C
A004	B1 - Basement Plan	C
A100	Ground Floor Plan	C
A101	Level 01 Plan	C
A102	Level 02 Plan	C
A103	Level 03 Plan	C
A104	Level 04 Plan	C
A105	Level 05 Plan	C
A106	Level 06 Plan	C
A107	Level 07 Plan	C
A110	Roof Plan	C
A300	Elevations & Sections - 1 of 5	C
A301	Elevations & Sections - 2 of 5	C
A302	Elevations & Sections - 3 of 5	C
A303	Elevations & Sections - 4 of 5	C
A304	Elevations & Sections - 5 of 5	C
A800	Area Schedule	C
A910	Facade Details - Sheet 1	A
A911	Facade Details - Sheet 2	A

Notes:

1. DESIGN RESOLUTION
1.1 The drawings represent general architectural intent for the purpose of this development application only.
1.2 The internal layout is shown indicatively and is subject to further design development.
1.3 The dimensions shown are general only and are subject to further design resolution.
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1.8 Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.

2. GRAPHIC PRESENTATION
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3. EXISTING STRUCTURES AND SERVICES
3.1 Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
3.2 All unchanged site levels are as per the existing survey information.

4. GENERAL NOTES
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4.5 All drawings to be read in conjunction with consultants' drawings.
4.6 All structure to structural engineer's details.

Abbreviation Legend
Please refer to drawing A000 - 'Cover Sheet' for abbreviation legend.

Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date

Rev

Amendment

Status:
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect:

632 BOURKE STREET
SURRY HILLS NSW 2010
TEL #61 2 9332 4200
NDM ARCH WILLIAM SMART 6381

smart design studio

Project:
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:
DEVELOPMENT APPLICATION
Cover Sheet

Job no: 1.788

Date: 20/10/14

Scale @ A1: As indicated

Drawing No: A000

Rev: C





Abbreviation Legend
Please refer to drawing A000 - 'Cover Sheet' for abbreviation legend.

Drawing No: A001 Rev: C



1

DEMOLITION LEGEND

	BUILDING TO BE DEMOLISHED
	EXISTING TREES TO BE REMOVED. REFER ARBORISTS REPORT FOR ADDITIONAL INFORMATION

Status:

Design Architect:

632 BOURKE STREET
SURRY HILLS NSW 2010
TEL +61 2 6332 4333
NOM ARCH WILLIAM SMART 6381

smart design studio

Title:



Abbreviation Legend
Please refer to drawing A000 - 'Cover Sheet' for abbreviation legend

Status:

Design Architect:

632 BOURKE STREET
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Title:
DEVELOPMENT APPLICATION
B2 - Basement Plan



Rev: C

0mm 100mm 200mm 300mm

100mm

200mm

300mm

NEW CONCRETE FOOTPATH
AND DRIVEWAY KERB RAMP
TO COUNCIL GUIDELINES

OCEAN STREET

NEW METAL ENTRY GATES
NEW CONCRETE
FOOTPATH/CYCLE PATH
CROSSOVER TO
COUNCIL GUIDELINES
NEW SUBSTATION WITH
SCREENING
EX. SUBSTATION
VISITOR BIKE PARKING

CARPARK
ENTRY/
EXIT

NEW 1.8m
VERTICAL FENCE
ON BOUNDARY

AG.06
2B

AG.01
2B

AG.02
1B

AG.03
1B

AG.04
2B

LOBBY

AG.05
1B

STORE

FINISHING AREA
BELOW

TRUCK TURNABLE BELOW

NEW 1.8m
VERTICAL FENCE
ON BOUNDARY

DICKSON PARK

KITCHEN GARDEN AND
GREEN WASTE STORAGE

SCARBA HOUSE

REPAIR, RESTORE AND
REPAINT EXTERIOR OF
SCARBA HOUSE. INTERNAL
FITOUT SUBJECT TO
FUTURE DA

WELLINGTON STREET

NEW METAL ENTRY GATES

Notes:

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 - All structure to structural engineer's details.

Abbreviation Legend
Please refer to drawing A200 - 'Cover Sheet' for abbreviation legend.

Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Design Architect:

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TEL: 02 9332 4333
NOM ARCH WILLIAM SMART 6381

smart design studio

Project:

THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:

**DEVELOPMENT APPLICATION
Ground Floor Plan**

Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250

Drawing No: A100

Rev: C

1 DA - Ground Floor Plan

1 : 250

0mm
100mm
200mm
300mm



- Notes:
- DESIGN RESOLUTION**
 - The drawing represents general architectural intent for the purpose of this development application only.
 - The internal layout is shown indicatively and is subject to further design development.
 - The dimensions shown are general only and are subject to further design resolution.
 - Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
 - The size and position of future sun screens is indicative and shown in open and closed positions.
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 - Landscape component is shown indicatively only and subject to further design development at later stage.
 - Location of plant, equipment and services on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.
 - GRAPHIC PRESENTATION**
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 - EXISTING STRUCTURES AND SERVICES**
 - Extent and location of existing structures and services is according to the available survey information and will need to be verified on site at later stage.
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 - GENERAL NOTES**
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 - All drawings to be read in conjunction with consultants' drawings.
 - All structure to structural engineer's details.

Abbreviation Legend
Please refer to drawing A200 - 'Cover Sheet' for abbreviation legend.

Revision:			
21/01/2015	C	Development Application	
20/10/2014	B	Development Application	
14/05/2014	A	Development Application	

Date	Rev	Amendment
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Status:
**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Design Architect:

smart design studio

Project:
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:
**DEVELOPMENT APPLICATION
Level 01 Plan**

Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250
Drawing No: A101 Rev: C



Notes

- ## **DESIGN RESOLUTION**
- The design resolution is the general architectural intent for the purpose of this development application only.
- 1 The internal layout is shown inductive and is subject to further design development.
 - 2 The external layout is shown inductive and is subject to further design development.
 - 3 The site coverage is shown inductive and is subject to further design development.
 - 4 The location of each parking point is generally only and will be confirmed and demonstrated at later stage.
 - 5 The proposed landscaping is shown inductive and is subject to further design development.
 - 6 Calling R/L where shown indicates general existing design level only, which does account for services and structures below ground.
 - 7 Landscaping components are shown inductively only and subject to further design development and later confirmation.
 - 8 Location of plant, equipment and services on drawings is general and inductive only, does not include minor elements, such as vent pipes, fans, aircon, etc.
- ## **GRAPHIC PRESENTATION**
- All colour presented on drawings are generic and only indicative of the architectural presentation intent. Some colour differentiation may also occur in the printing process.
- ## **EXISTING STRUCTURES AND SERVICES**
- 1 Existing location of existing structures and services is according to the available information and will need to be confirmed by the applicant.
 - 2 All underground utilities are as per the existing survey information.
- ## **GENERAL NOTES**
- 1 All dimensions to be verified on site.
 - 2 All dimensions may discrepancy or variations to Microsoft Design Pro to construction.
 - 3 Refer to standard for ambiguous details when clarification is required.
 - 4 All drawings to be read in conjunction with consultants' drawings.
 - 5 All dimensions to be read in conjunction with consultants' drawings.
 - 6 All dimensions to be read in conjunction with consultants' drawings.

Abbreviation Legend
Please refer to drawing A000 - 'Cover Sheet' for abbreviation legend.

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Status

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect: _____

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WOM ARCH WILLIAM SMART 6381

smart design studio

Project: **THE MORETON**
18-22 Ocean Street & 30 Wellington Street

Title: DEVELOPMENT APPLICATION
Level 02 Plan



Notes:

- DESIGN RESOLUTION**
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 - All unchanged site levels are as per the existing survey information.
- GENERAL NOTES**
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 - Report any discrepancies or omissions to Mvec Design prior to construction.
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 - All drawings to be read in conjunction with specification.
 - All drawings to be read in conjunction with consultants' drawings.
 - All structure to structural engineer's details.

Abbreviation Legend
Please refer to drawing A200 - 'Cover Sheet' for abbreviation legend.

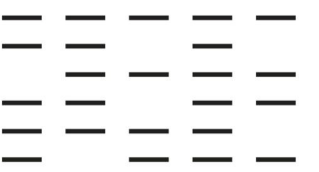
Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Design Architect: 
632 BOURKE STREET
SURRY HILLS NSW 2010
TEL: 02 9332 4333
NOM ARCH: WILLIAM SMART 6381

Project:
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:
**DEVELOPMENT APPLICATION
Level 03 Plan**

Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250

Drawing No: A103 Rev: C



- ## 1. DESIGN RESOLUTION
1. The drawings represent general architectural intent for the purpose of this development application only and are not intended to be used as a permit only and is subject to further design development.
 2. The dimensions shown are generally only and are subject to further design resolution.
 3. The drawing is not intended to be used as a permit only and is subject to further design development.
 5. The size and position of various sun screens is indicative and shown under open and closed positions.
 6. The drawing is not intended to be used as a permit only and is subject to further design development at later stage.
 7. The drawing is not intended to be used as a permit only and is subject to further design development at later stage.
 8. The drawing is not intended to be used as a permit only and is subject to further design development at later stage.
 9. The drawing is not intended to be used as a permit only and is subject to further design development at later stage.
- ## 2. GRAPHIC PRESENTATION
1. Colours presented on drawings are generic only and indicative of the architectural design intent. Some colour alteration may also occur in the printing process.
- ## 3. EXISTING STRUCTURES AND SERVICES
1. Existence and location of existing structures and services according to the available survey information will need to be verified on site at the later stage.
 2. All underground data shall refer to the existing survey information.
- ## 4. GENERAL NOTES
1. All dimensions to be verified on site.
 2. Report any discrepancies or omissions to Winpac Design prior to construction.
 3. All work must be completed by the date specified or when stated otherwise is required.
 4. All drawings to be kept in conjunction with specifications.
 5. All work to be completed by the date specified or when stated otherwise is required.
 6. All structural to structural engineering details.

Abbreviation Legend
Please refer to drawing A000 - 'Cover Sheet' for abbreviation legend

Date	Rev	Amendment
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Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect:

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NOM ARCH WILLIAM SMART 6381

smart design studio

Project: **THE MORETON**
18-22 Ocean Street & 30 Wellington Street

Title:
DEVELOPMENT APPLICATION
Level 04 Plan



Notes:

- DESIGN RESOLUTION**
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Abbreviation Legend
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Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
------	-----	-----------

Status:

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Design Architect:

632 BOURKE STREET
SURREY HILLS NSW 2010
TEL: 61 2 8332 4333
NOM ARCH: WILLIAM SMART 6381

smart design studio

Project:
THE MORETON
18-22 Ocean Street & 30 Wellington Street

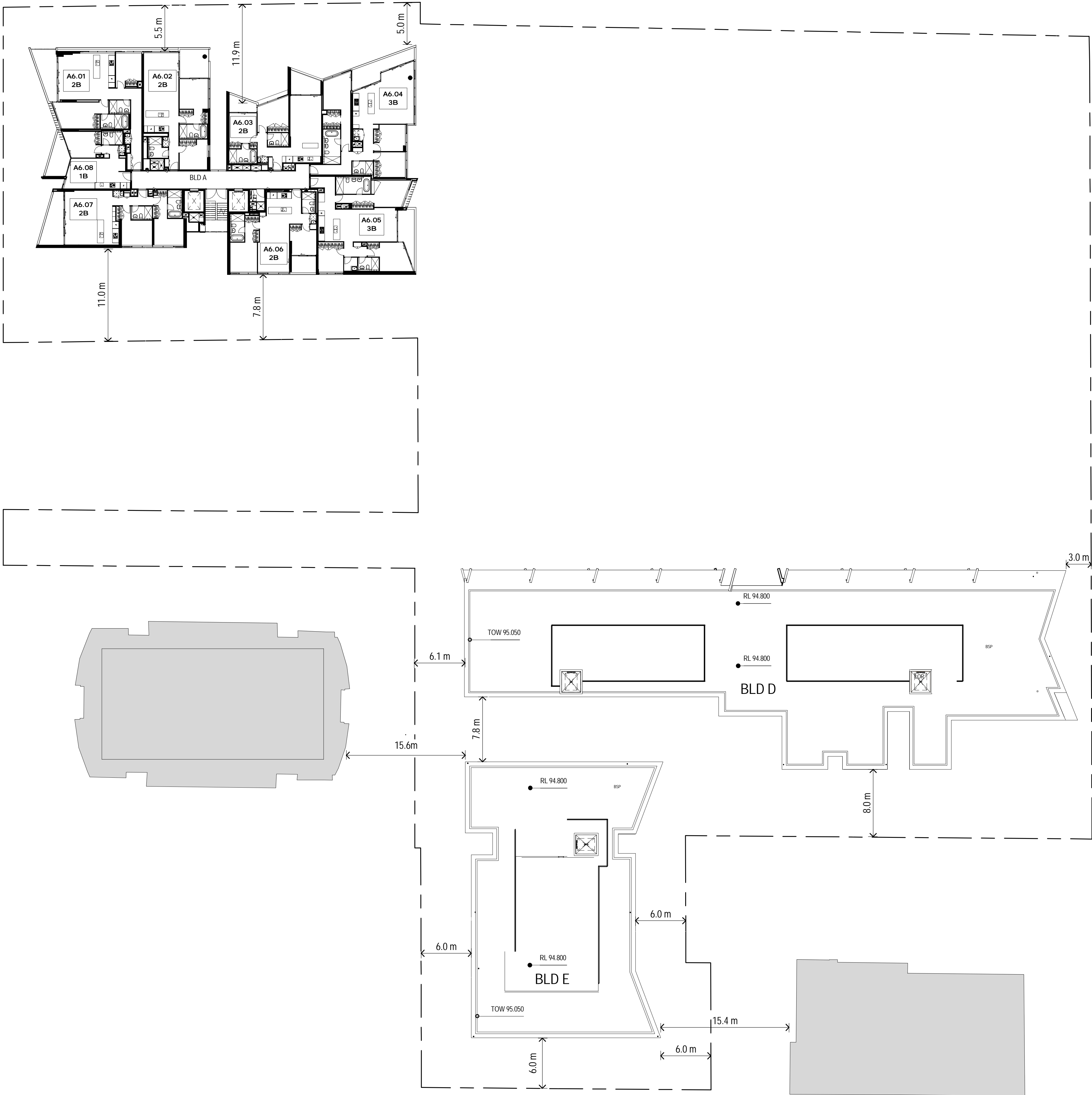
Title:
**DEVELOPMENT APPLICATION
Level 05 Plan**

0mm | 100mm | 200mm | 300mm

100mm

200mm

300mm



Notes:

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Abbreviation Legend
Please refer to drawing A200 - 'Cover Sheet' for abbreviation legend.

Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect:

632 BOURKE STREET
SURRY HILLS NSW 2010
TEL #61 2 8332 4333
NOM ARCH WILLIAM SMART 6381

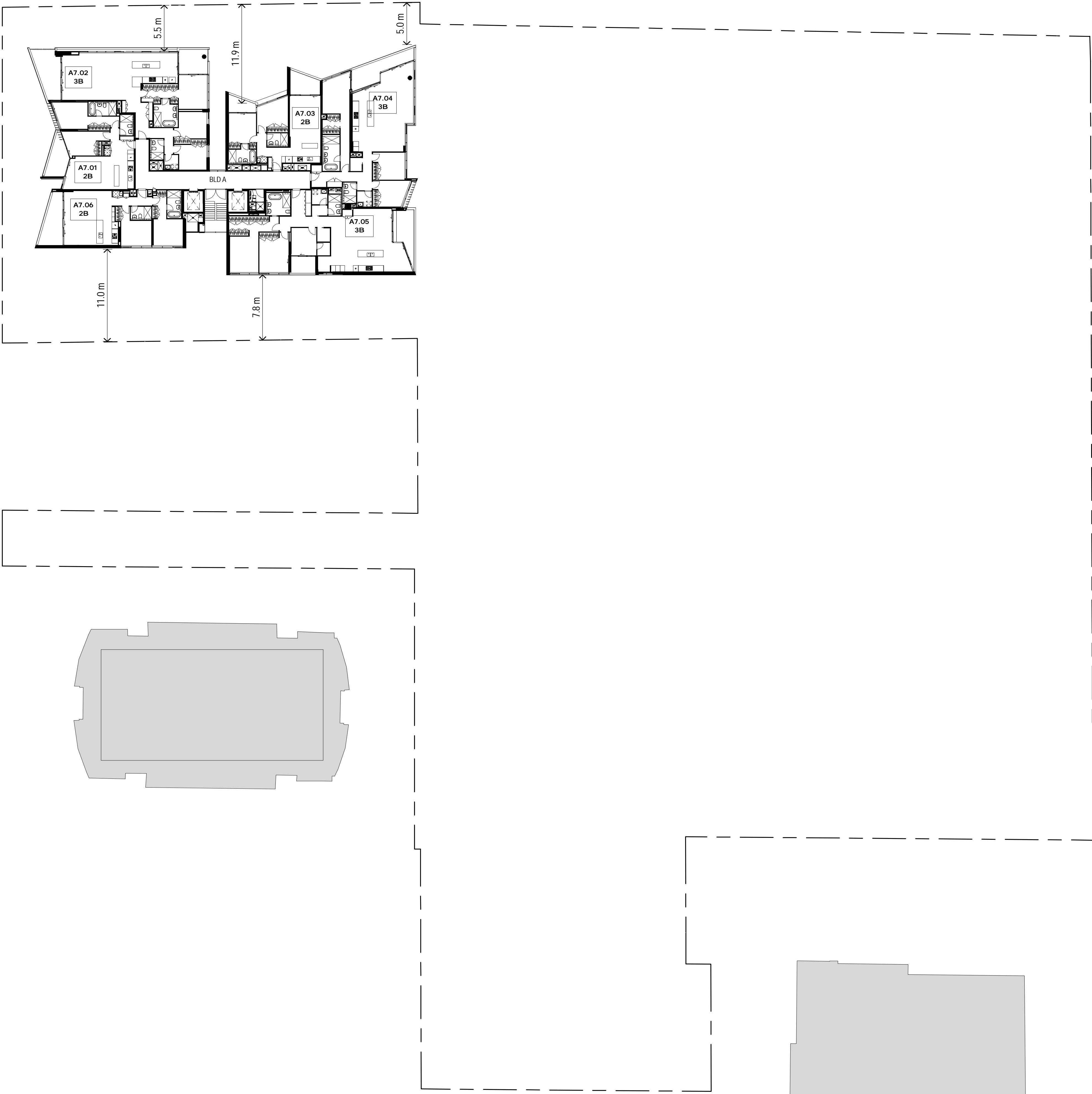
smart design studio

Project:
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:
DEVELOPMENT APPLICATION
Level 06 Plan

Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250

Drawing No: A106 Rev: C



Notes:

- 1. DESIGN RESOLUTION**
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Abbreviation Legend
Please refer to drawing A200 - 'Cover Sheet' for abbreviation legend.

Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
------	-----	-----------

Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect:

632 BOURKE STREET
SURREY HILLS NSW 2010
TEL: 02 9332 4333
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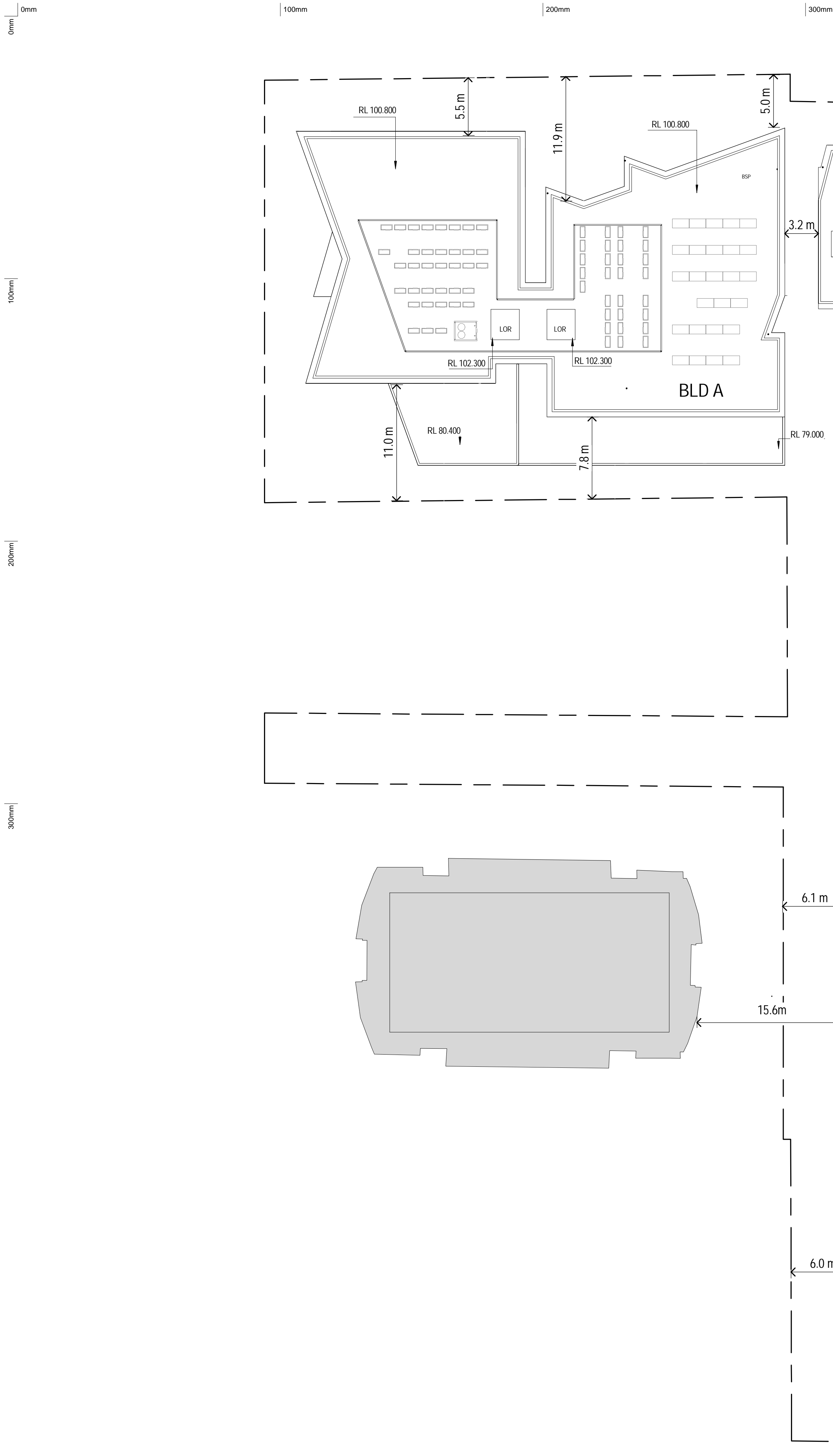
smart design studio

Project:

THE MORETON

18-22 Ocean Street & 30 Wellington Street

Title:
DEVELOPMENT APPLICATION
Level 07 Plan



Notes:

- DESIGN RESOLUTION**
 - 1.1 The drawing represents general architectural intent for the purpose of this development application only.
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Abbreviation Legend
Please refer to drawing A200 - 'Cover Sheet' for abbreviation legend.

Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Design Architect:

smart design studio

632 BOURKE STREET
SURREY HILLS NSW 2010
TEL: 02 9332 4333
NOM ARCH: WILLIAM SMART 6381

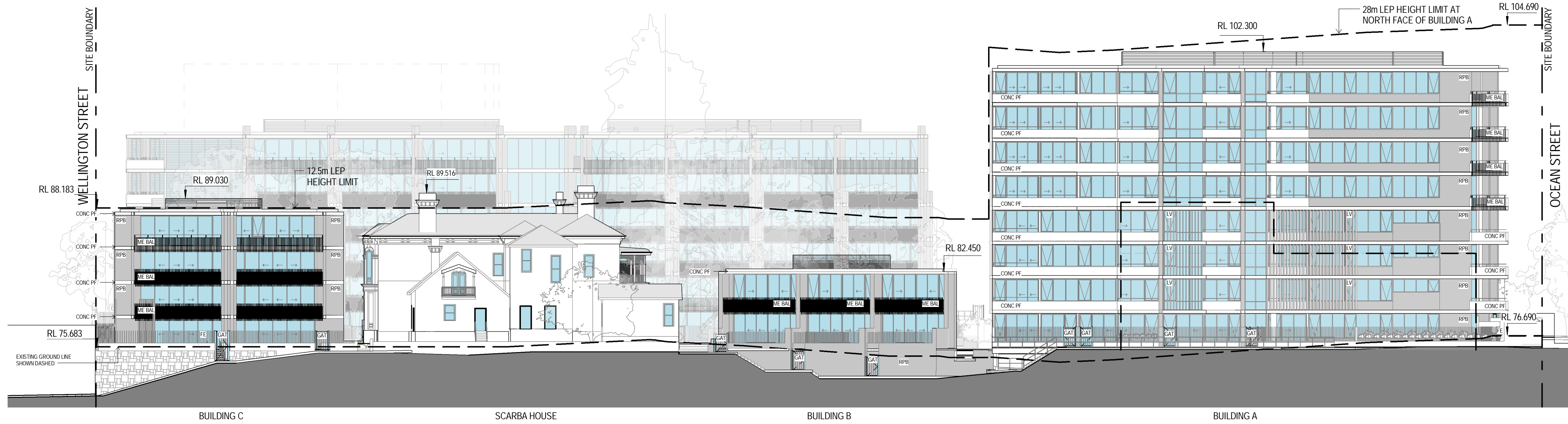
Project:

THE MORETON

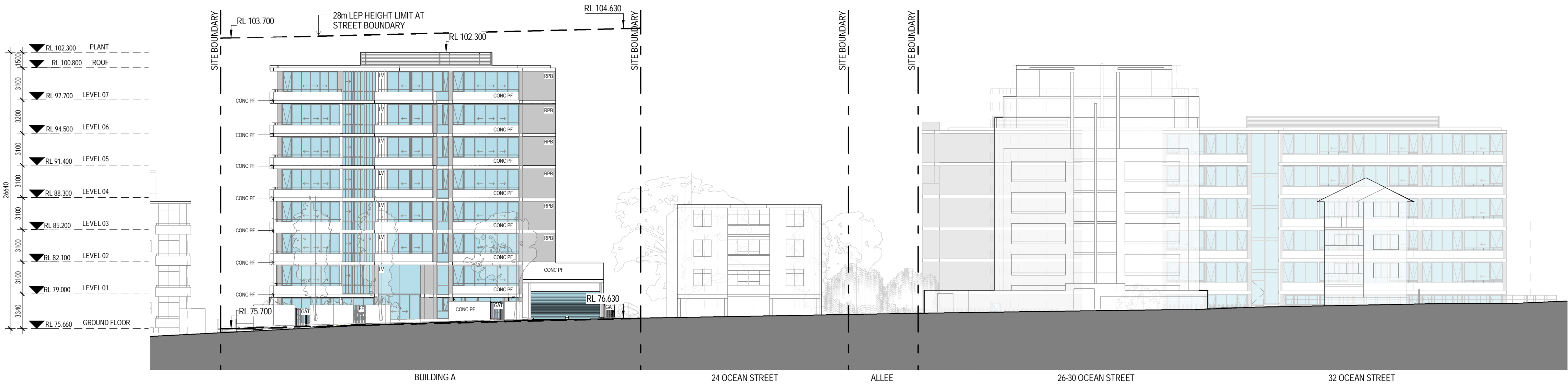
18-22 Ocean Street & 30 Wellington Street

Title:

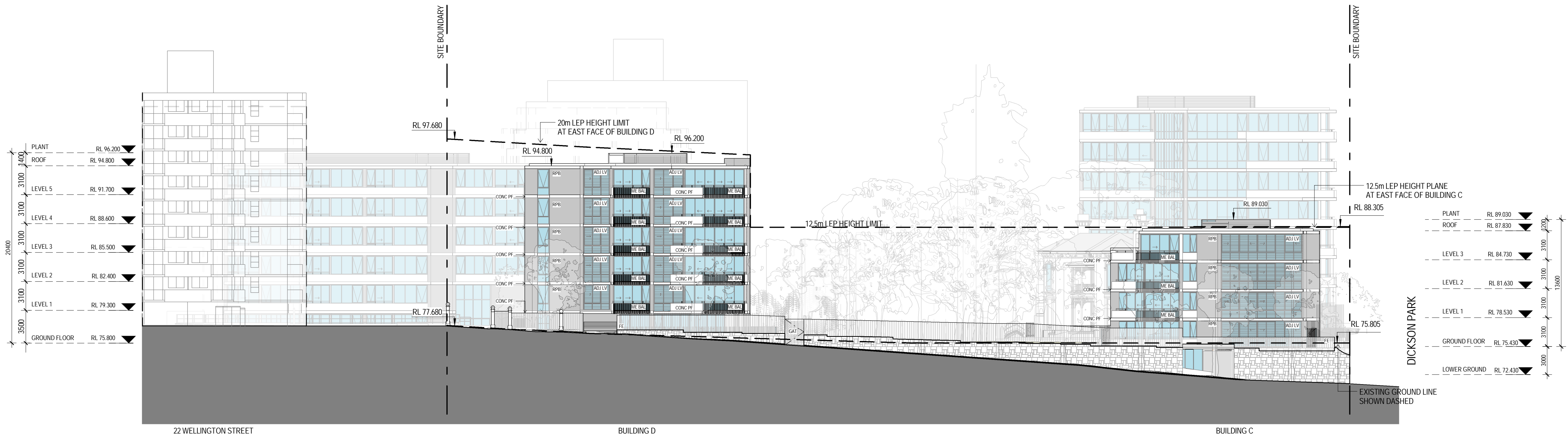
**DEVELOPMENT APPLICATION
Roof Plan**



1 Dickson Park Elevation North
1 : 250



2 Ocean Street Elevation West
1 : 250



3 Wellington Street Elevation
1 : 250

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Finishes Schedule :

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10	10. Palisade Fence - Metal, Medium Bronze - Salin finish (FE - FENCE, GAT - GATE)

Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
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Date	Rev	Amendment
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Status:

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Design Architect:

632 BOURKE STREET
SURREY HILLS NSW 2010
TEL: 467 2 8332 4333
NOM ARCH WILLIAM SMART 6381

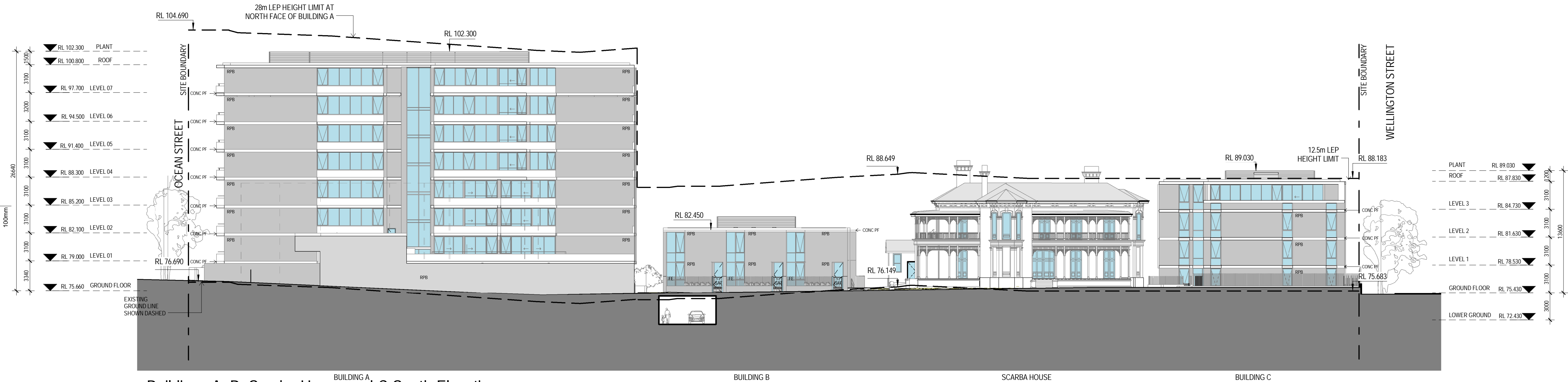
smart design studio

Project:

THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:

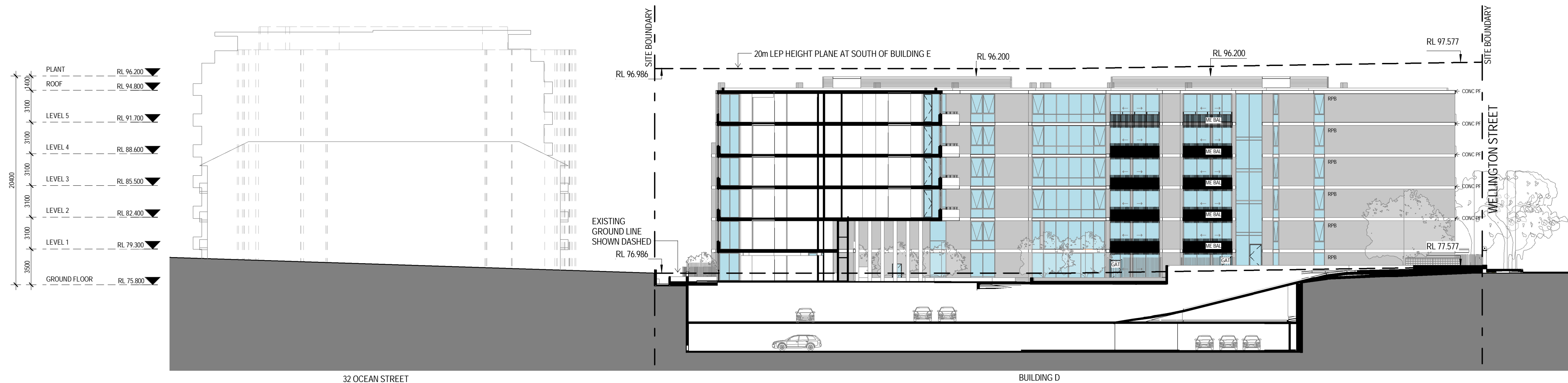
**DEVELOPMENT APPLICATION
Elevations & Sections - 1 of 5**



1 Buildings A, B, Scarba House and C South Elevation
1 : 250



2 Building D North Elevation
1 : 250



3 Building D South Elevation
1 : 250

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Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect:

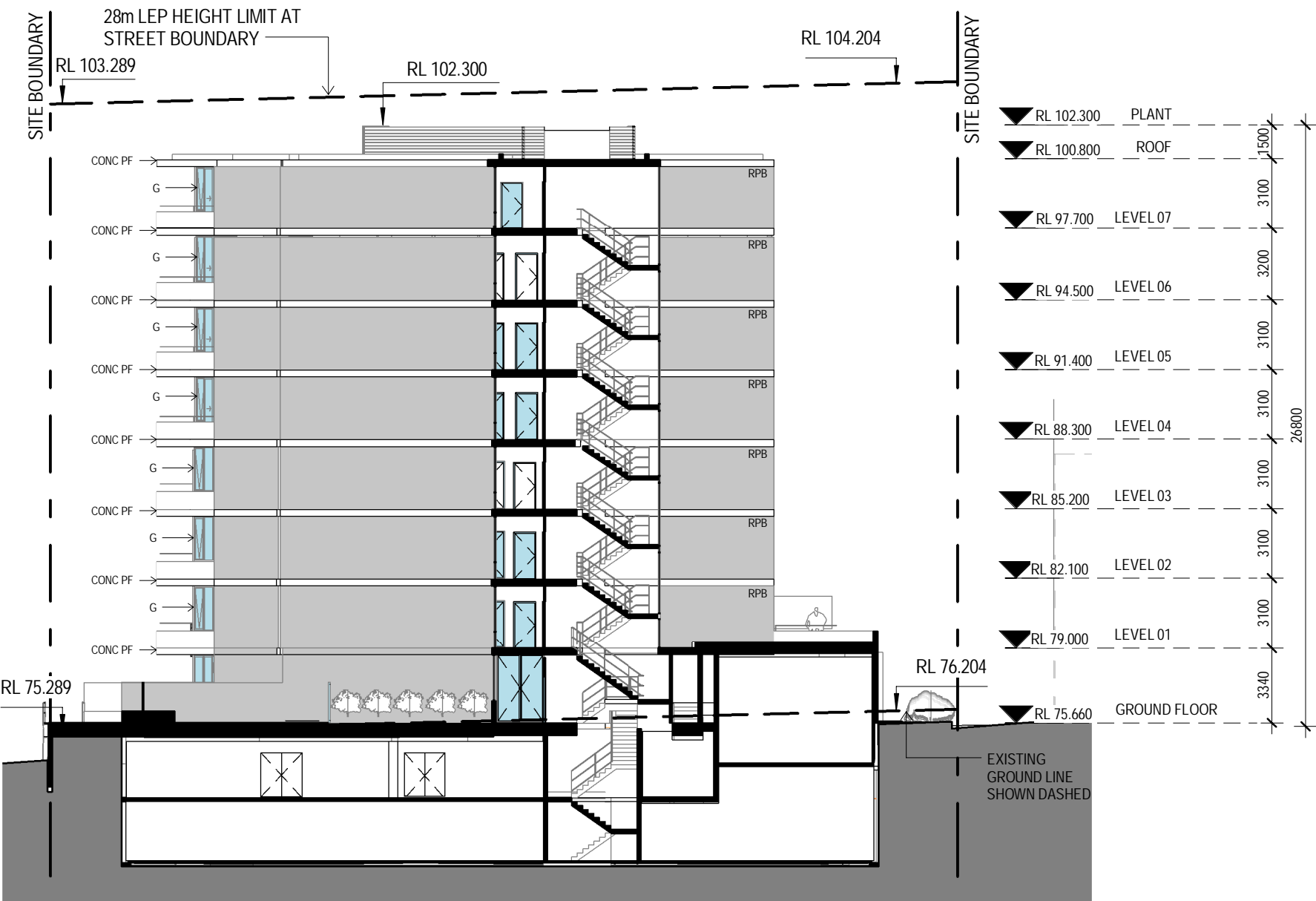
smart design studio

Project:

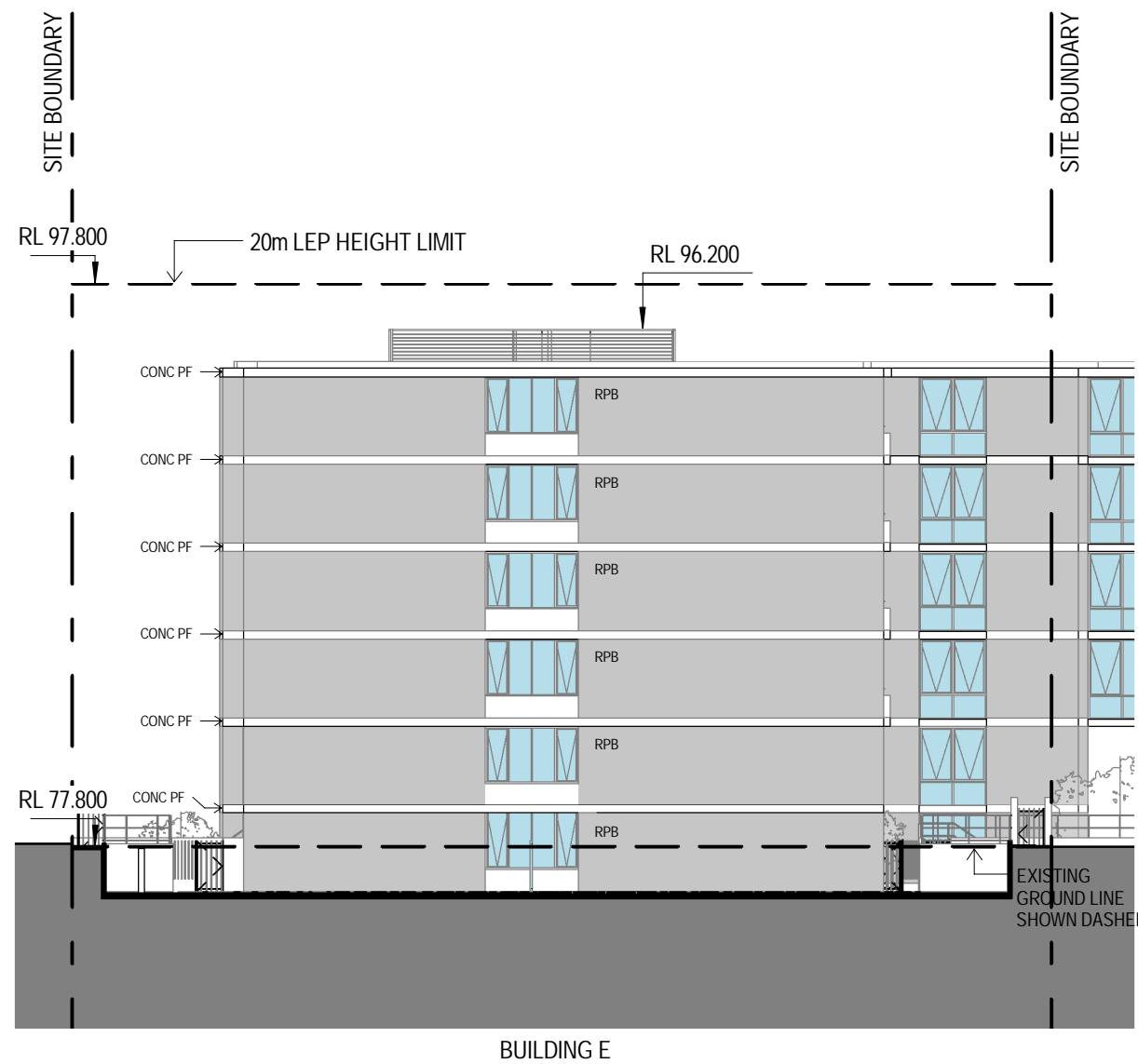
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:

DEVELOPMENT APPLICATION
Elevations & Sections - 2 of 5



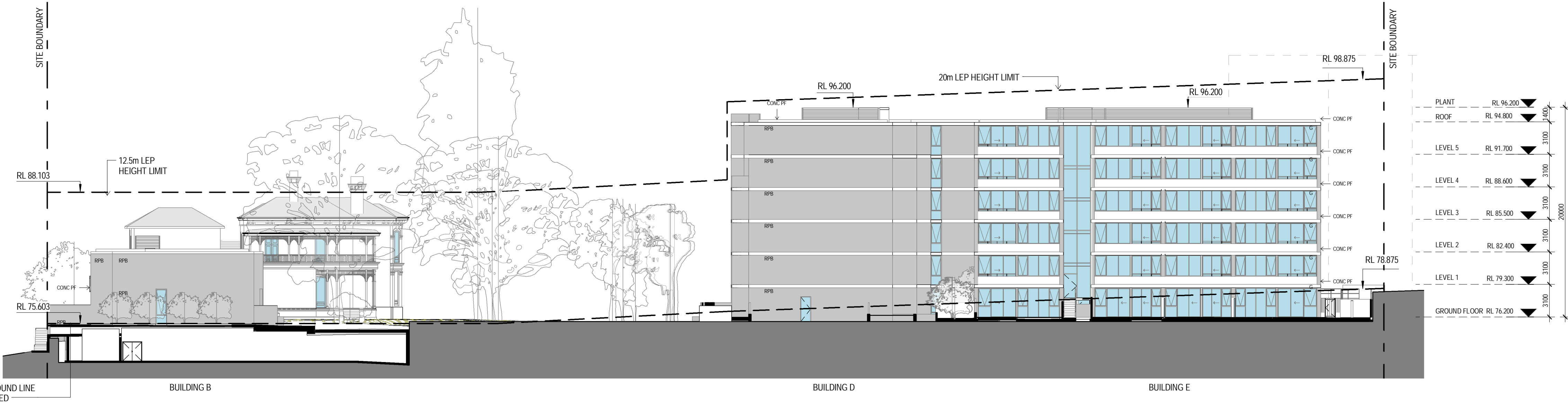
1 Building A Section BB
1 : 250



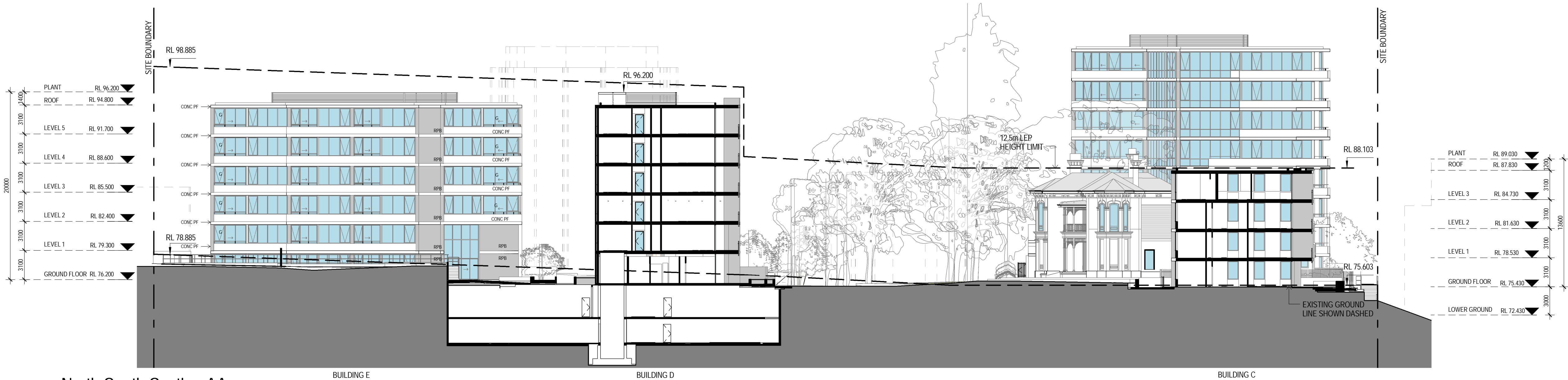
4 Building E - South Elevation
1 : 250



5 Building E - North Elevation
1 : 250



2 North South Section CC
1 : 250



3 North South Section AA
1 : 250

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Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
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Status:

DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION

Design Architect:

632 BOURKE STREET
SURRY HILLS NSW 2010
TEL: 02 9333 4333
NOM ARCH WILLIAM SMART 6381

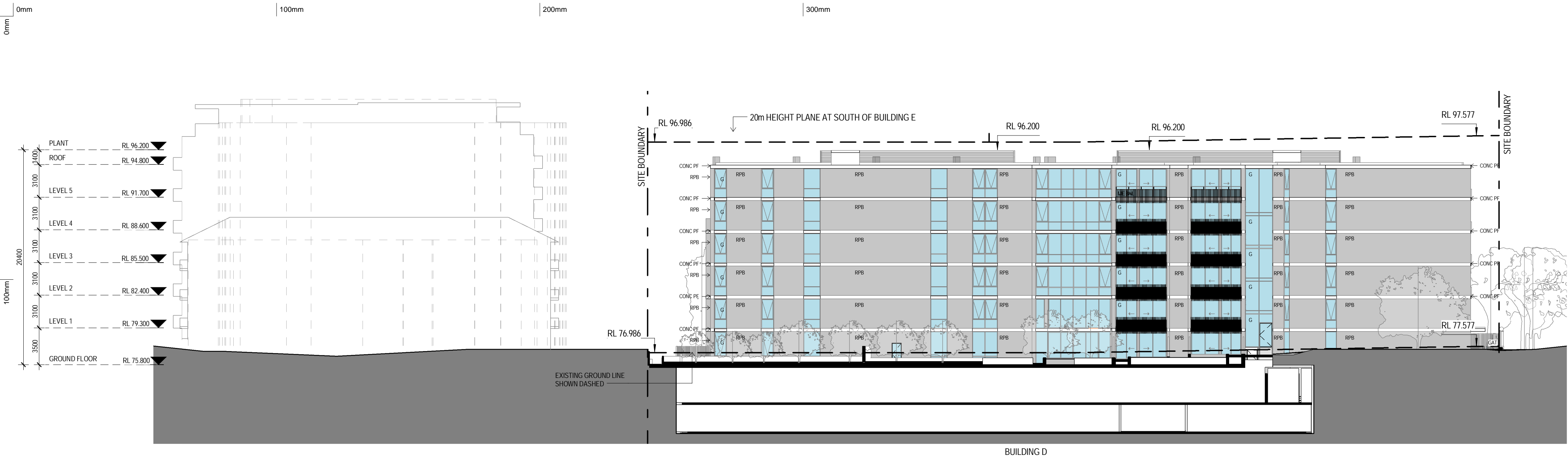
smart design studio

Project:

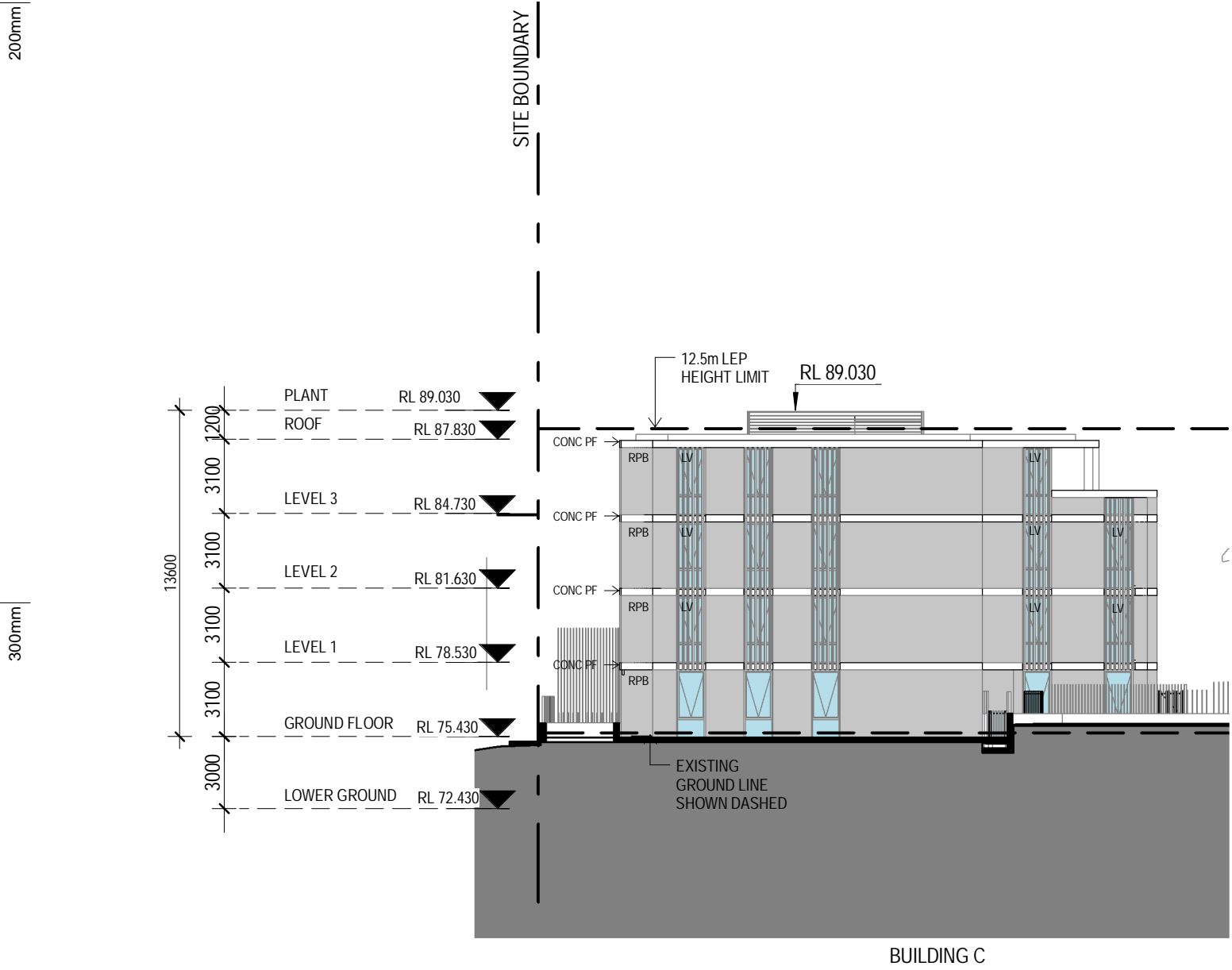
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:

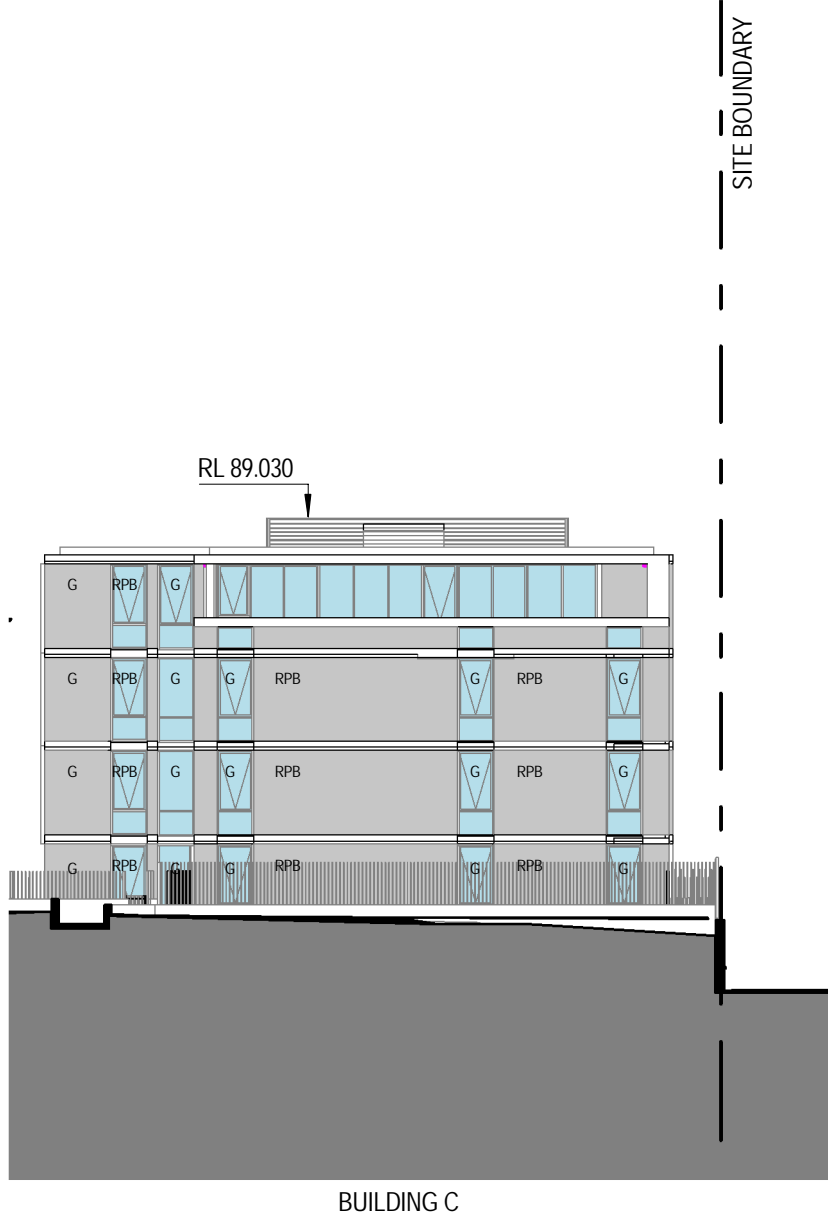
DEVELOPMENT APPLICATION
Elevations & Sections - 3 of 5



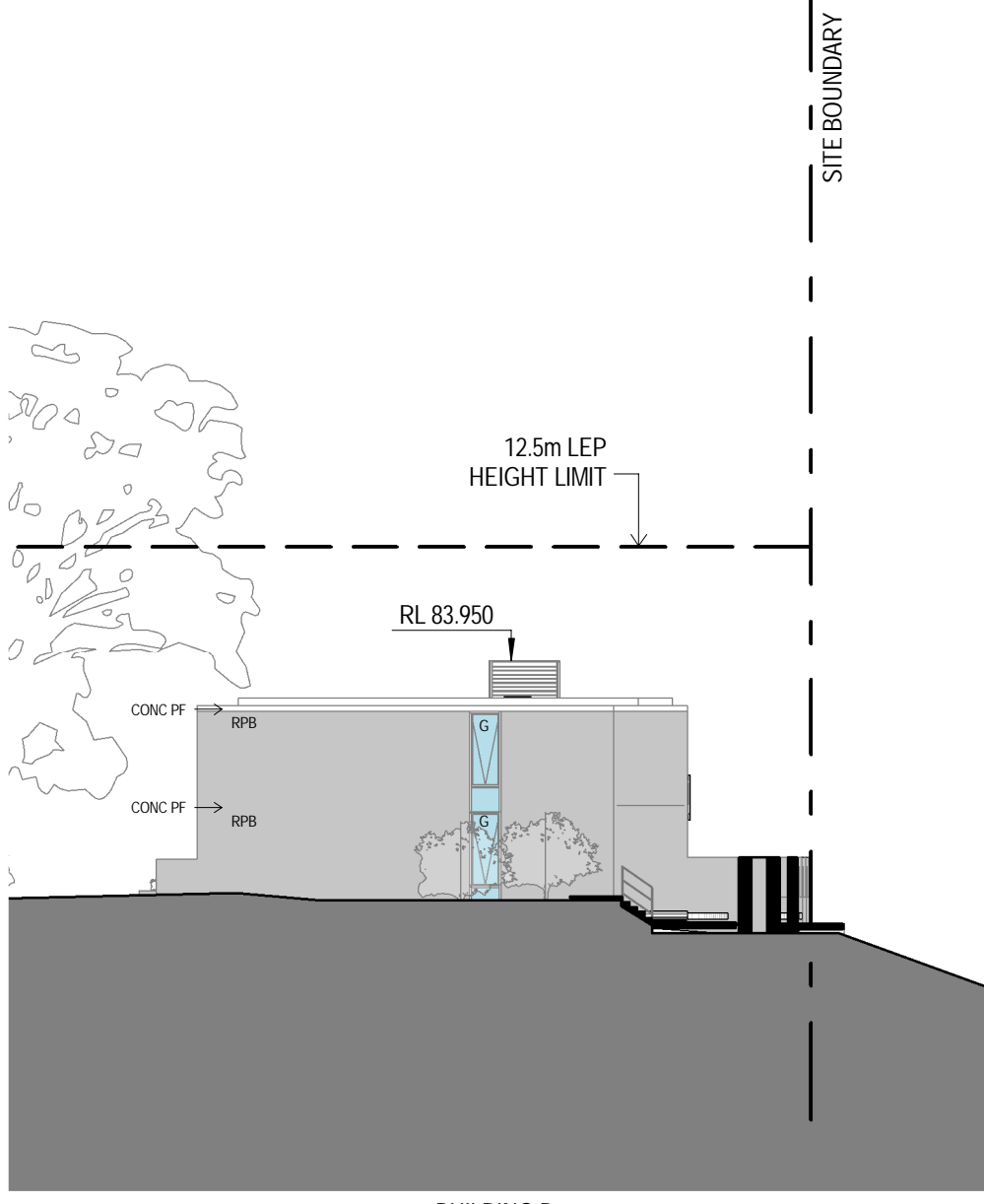
1 BUILDING D SOUTH ELEVATION
1 : 250



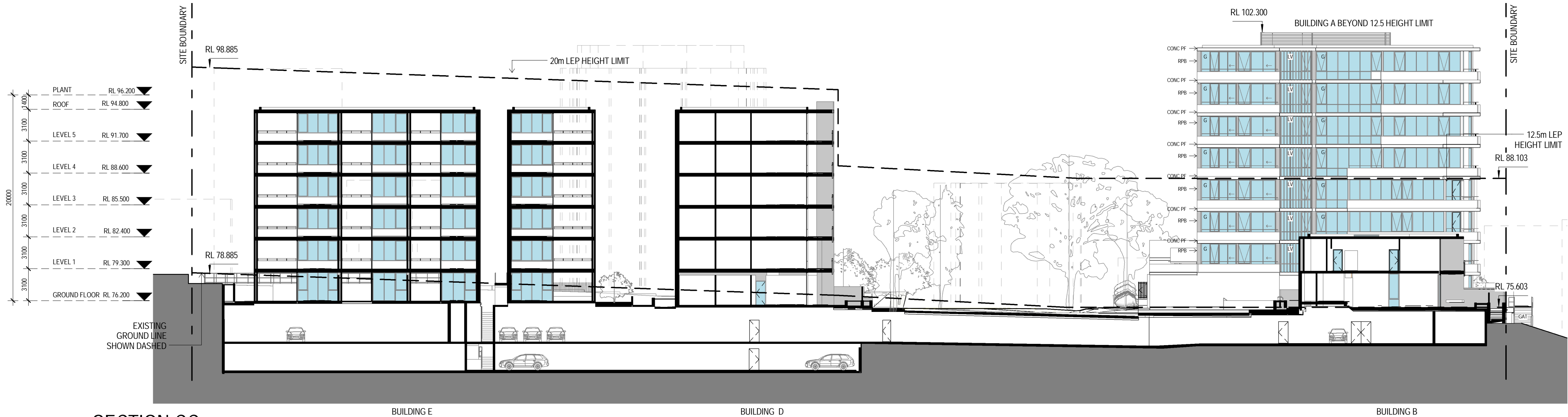
2 BUILDING C WEST ELEVATION
1 : 250



5 BUILDING C SOUTH ELEVATION
1 : 250



4 BUILDING B SOUTH ELEVATION
1 : 250



3 SECTION CC
1 : 250

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Revision:

21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Design Architect:

632 BOURKE STREET
SURRY HILLS NSW 2010
TEL: 02 8335 4333
NOM ARCH WILLIAM SMART 6381

smart design studio

Project:

THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:

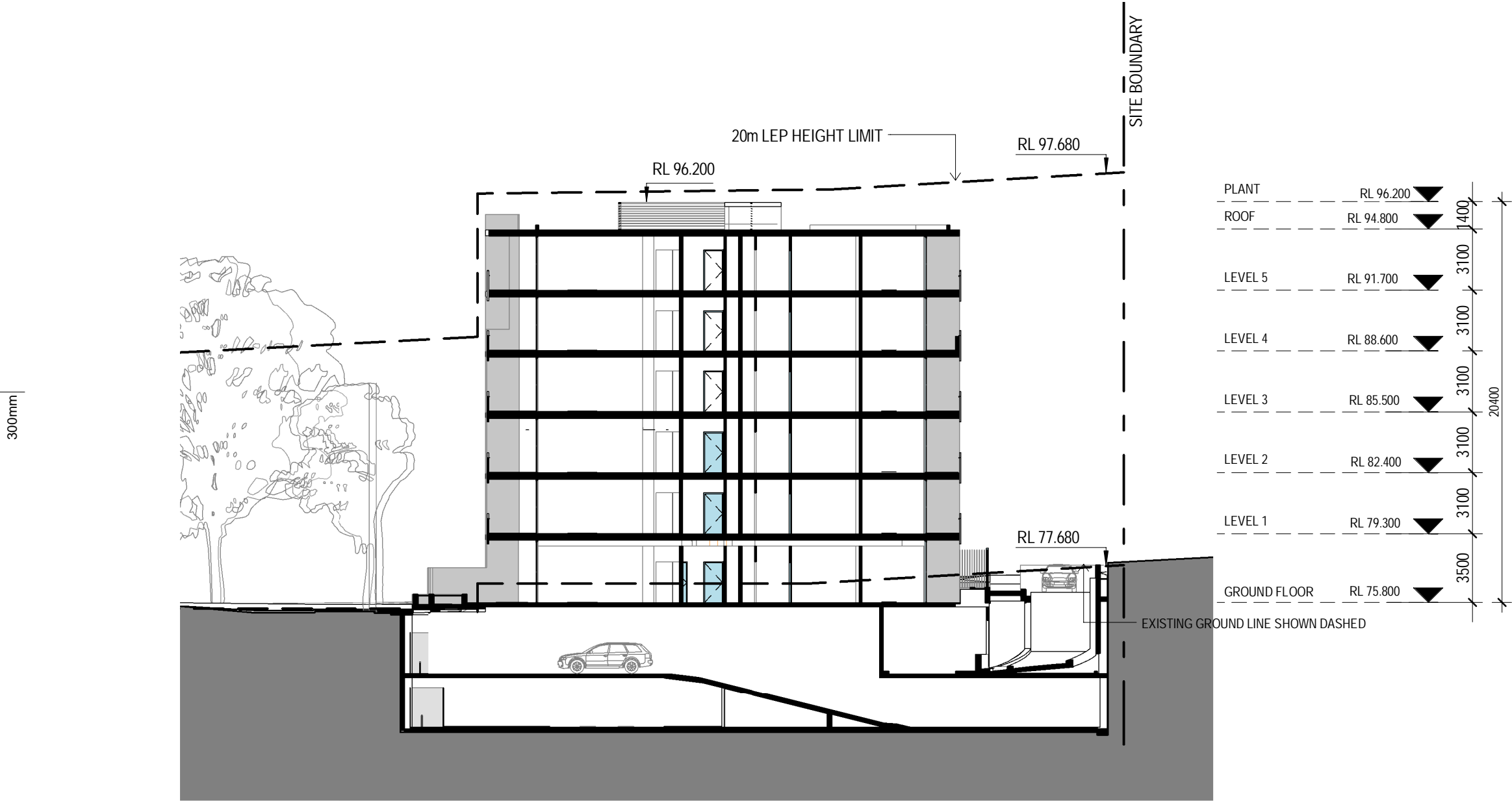
DEVELOPMENT APPLICATION
Elevations & Sections - 4 of 5

Job no: 1.788 Date: 20/10/14 Scale @ A1: 1 : 250

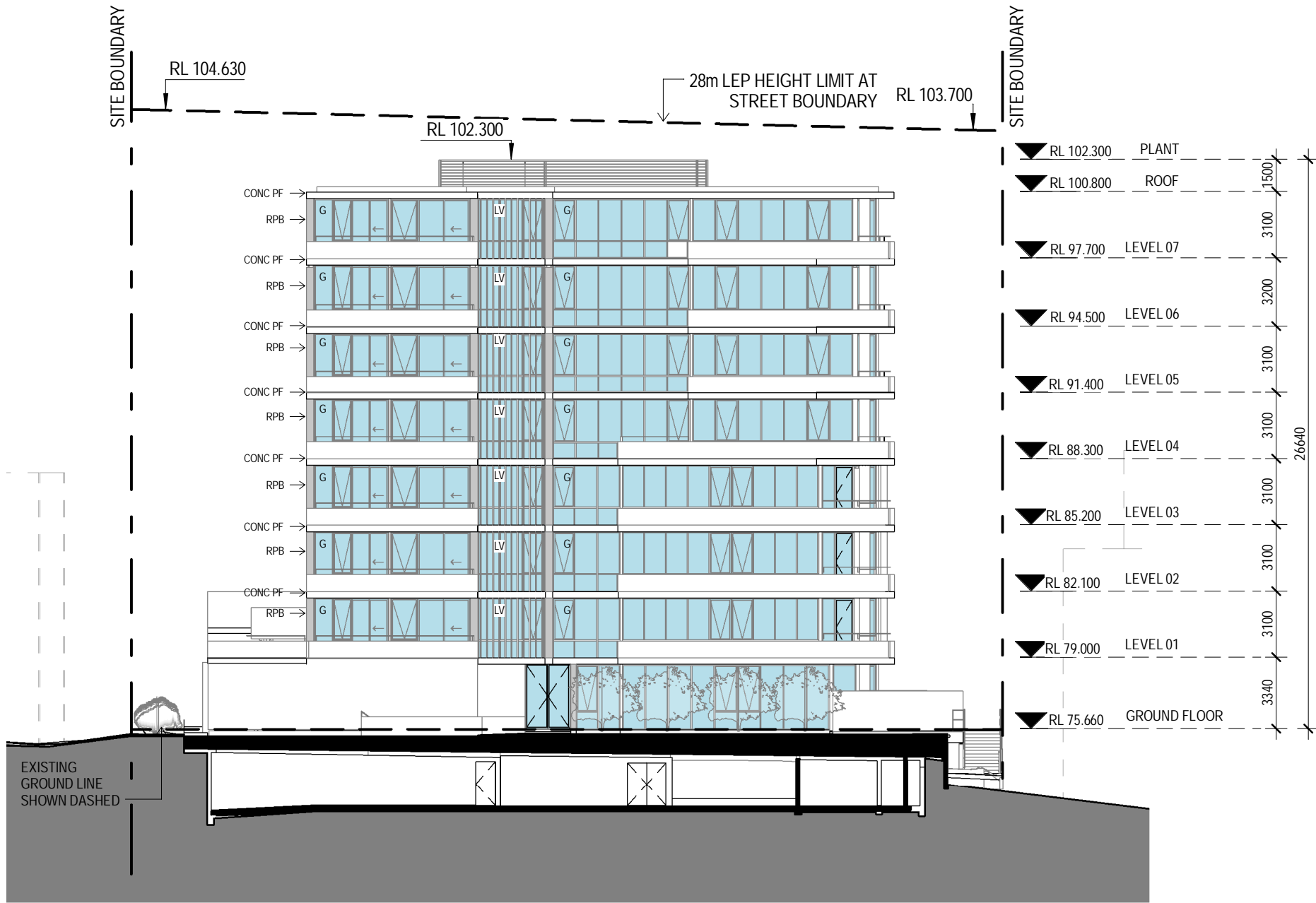
Drawing No: A303 Rev: C



1 Building A and B Section GG
1 : 250



2 Building D Section HH
1 : 250



3 Building A - East Elevation
1 : 250

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21/01/2015	C	Development Application
20/10/2014	B	Development Application
14/05/2014	A	Development Application

Date	Rev	Amendment
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Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION



632 BOURKE STREET
SURRY HILLS NSW 2010
TEL: 02 9332 4333
NOM ARCH: WILLIAM SMART 6381

smart design studio

Project:
THE MORETON
18-22 Ocean Street & 30 Wellington Street

Title:
DEVELOPMENT APPLICATION
Elevations & Sections - 5 of 5

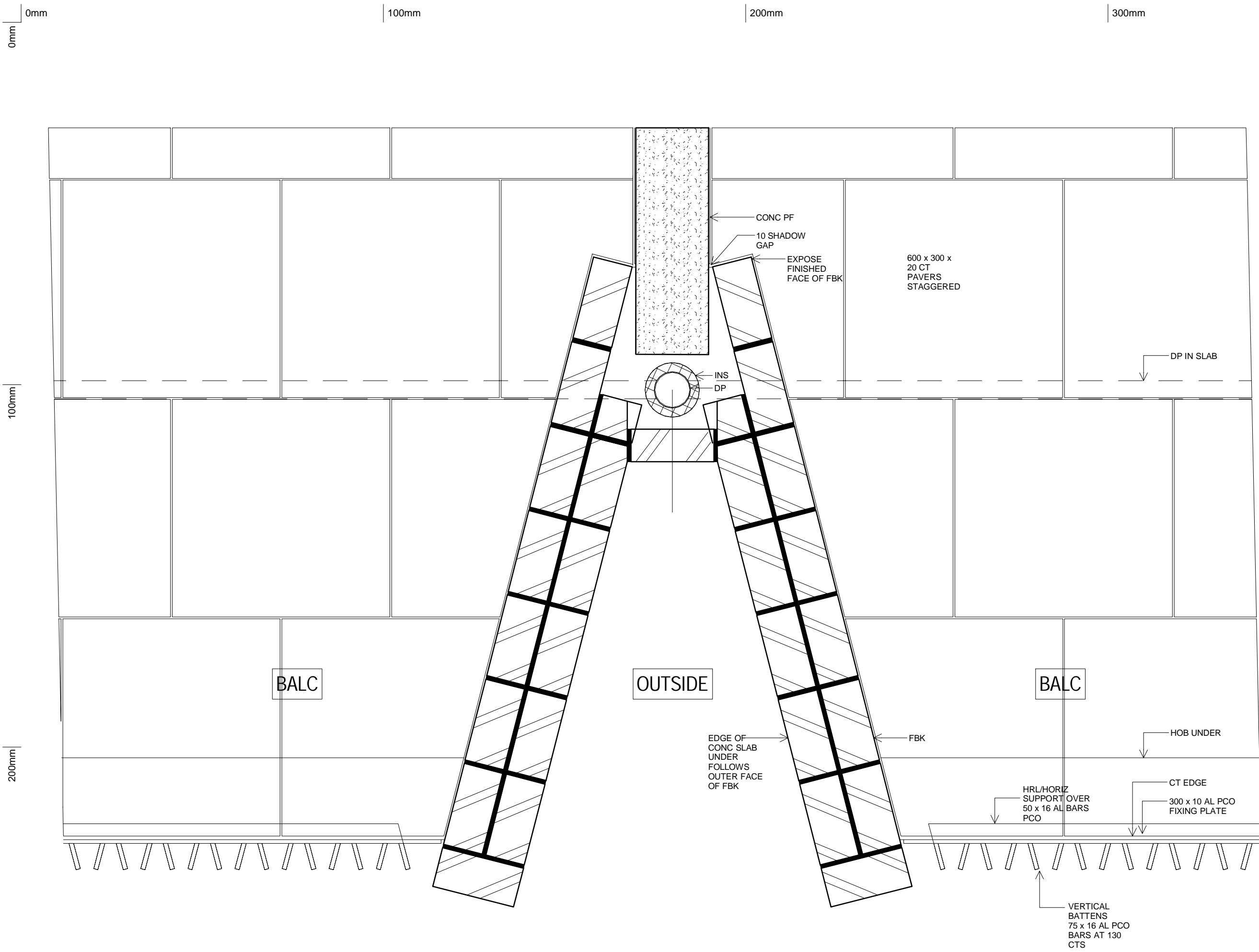


Abbreviation Legend
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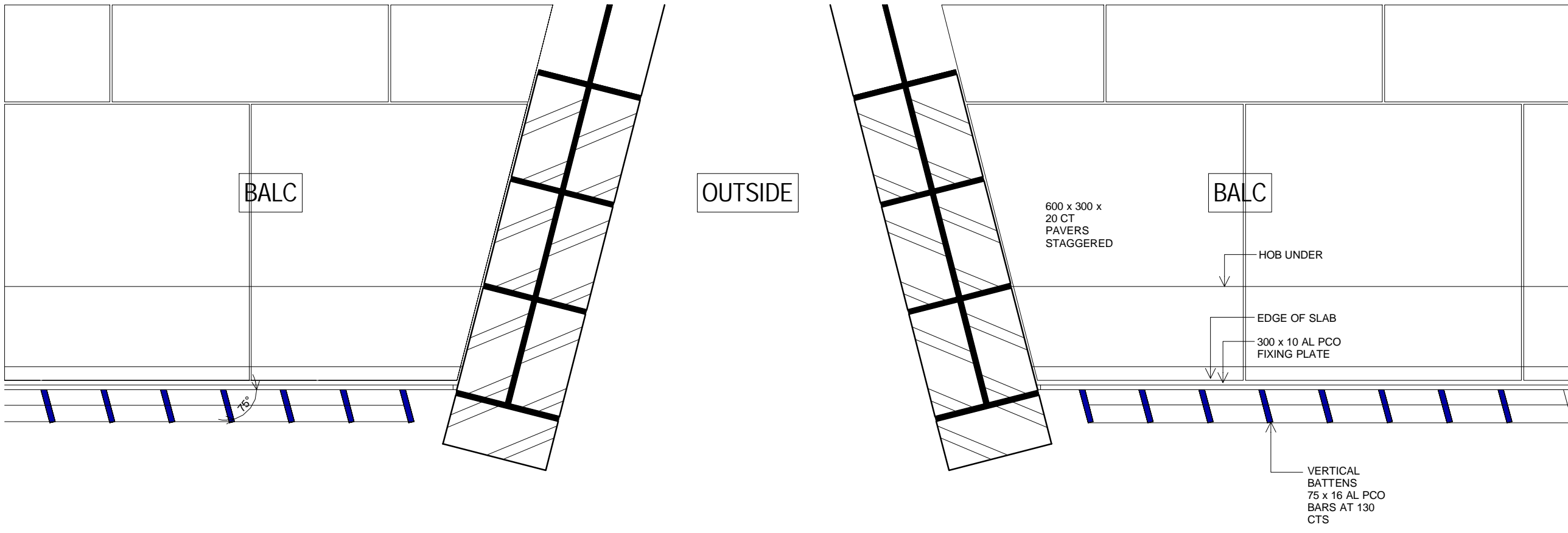
Status:

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

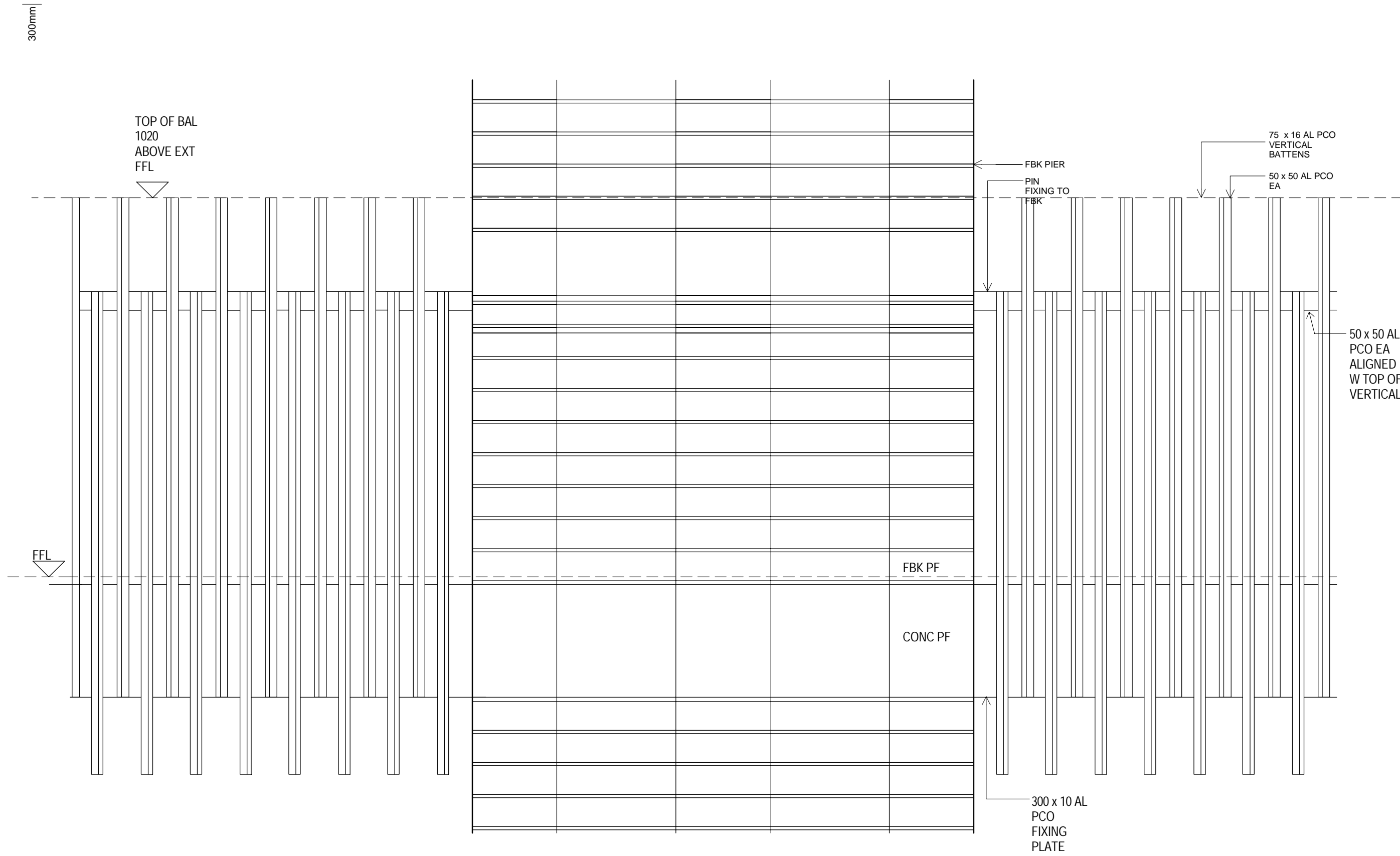
Title:
DEVELOPMENT APPLICATION
Facade Details - Sheet 1



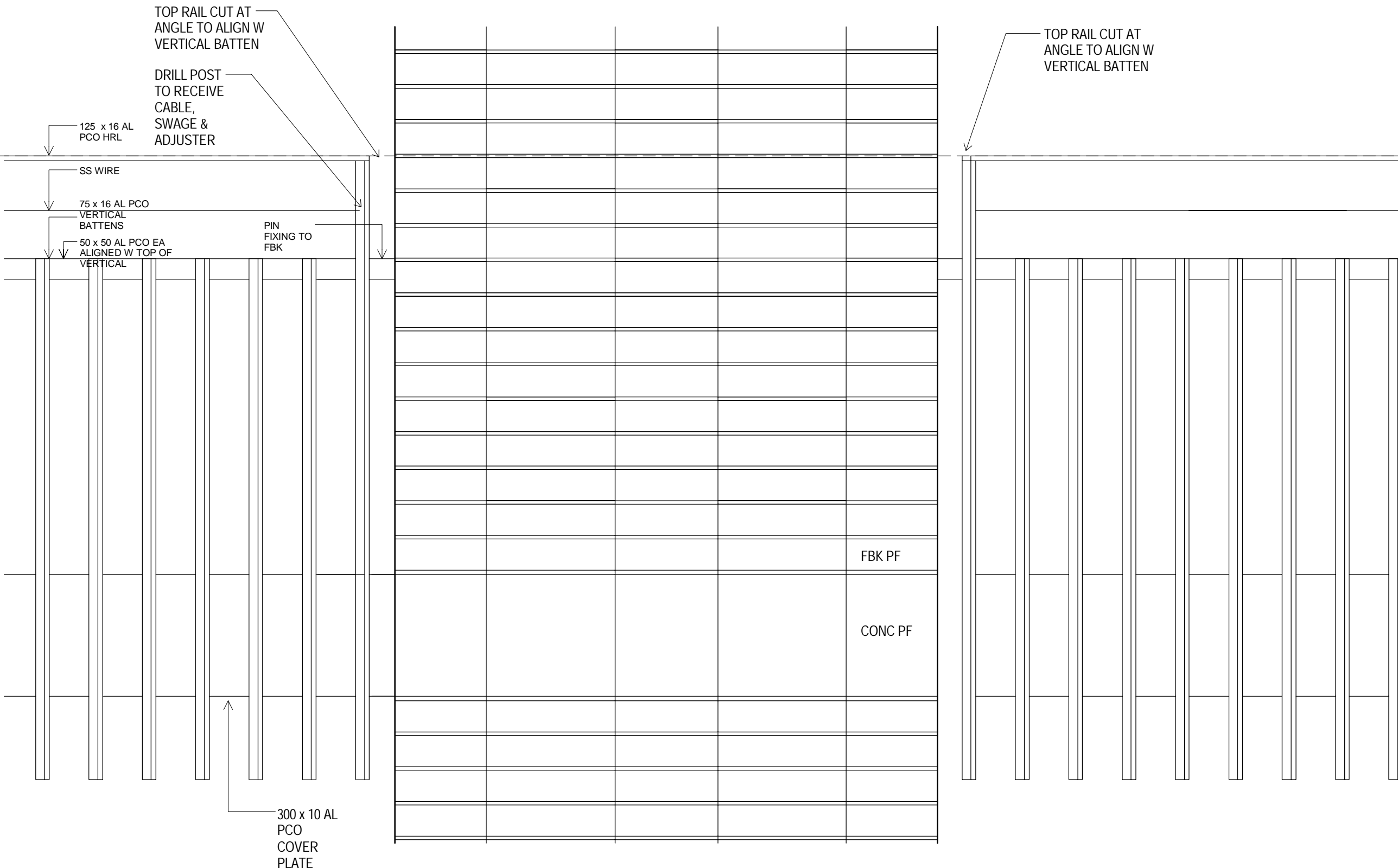
1 BUILDIND D 'V' BLADE AND BALUSTRADE PLAN LOWER
1:10 @ A1



3 BUILDING D 'V' BLADE AND BALUSRADE PLAN UPPER
1:10 @ A1



2 BUILDING D 'V' BLADE AND BALUSTRADE ELEVATION LOWER
1:10 @ A1



4 BUILDING D 'V' BLADE AND BALUSTRADE ELEVATION UPPER
1:10 @ A1

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Revision:		
21/01/2015	A	JRPP Review
Date	Rev	Amendment
Status:		
DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION		
Design Architect:		
632 BOURKE STREET SURREY HILLS NSW 2010 TEL: 02 9332 4333 NOM ARCH WILLIAM SMART 6381		
Project:		
THE MORETON		
18-22 Ocean Street & 30 Wellington Street		
Title:		
DEVELOPMENT APPLICATION Facade Details - Sheet 2		